The background is a technical survey map. It features several property lots with their boundaries defined by bearings and distances. For example, one lot has a boundary of S86°46'20"E and 157.07'. Another lot has a boundary of S89°12'16"E and 118.28'. There are also bearings like S86°46'20"E and S89°12'16"E. Distances include 193.53', 116.97', 77.42', 99.30', 138.14', 128.93, 136.00', and 103.0'. The map also includes some text like 'Detail 'C'', 'See Sheet', '21', '3713', '3709', and 'COUN'.

City of Richardson City Plan Commission Agenda Packet Tuesday, May 3, 2016

To advance to the background material for each item in the agenda, click on the item title in the agenda or click on Bookmarks in the tool bar on the left side of your screen.

AGENDA
CITY OF RICHARDSON - CITY PLAN COMMISSION
MAY 3, 2016, 7:00 P.M.
CIVIC CENTER – COUNCIL CHAMBERS
411 W. ARAPAHO ROAD

BRIEFING SESSION: 5:30 P.M. – EAST CONFERENCE ROOM Prior to the regular business meeting, the City Plan Commission will meet with staff in the East Conference Room, located on the first floor, to receive a briefing on:

- A. Review and discuss the Main Street/Central Expressway Enhancement/Redevelopment – Rezoning Initiative (Phase III)**
 - B. Discussion of Regular Agenda items**
 - C. Staff Report on pending development, zoning permits, and planning matters**
-

REGULAR BUSINESS MEETING: 7:00 P.M. - COUNCIL CHAMBERS

MINUTES

1. **Approval of minutes of the regular business meeting of April 19, 2016.**

PUBLIC HEARINGS

2. **Replat – Galatyn Urban Center Addition:** Consider and take necessary action on a requests for approval of a replat for Lots 7B & 8, Block A of the Galatyn Urban Center Addition to create two (2) lots from one (1) lot and to dedicate easements to accommodate future development. The 8.41-acre site is located at the northwest corner of Galatyn Parkway and Plaza Drive. Applicant: Joseph Hornsiher, Kimley-Horn, representing Galatyn Properties. *Staff: Susan Smith.*
3. **Zoning File 16-10 – CityLine East PD Amendments:** Consider and take necessary action on a request to amend a 47.9-acre portion of the 62.5 acres of the CityLine East PD to allow temporary parking lots; to allow one (1) surface parking lot as primary use; and for approval of revised Building Design Standards for “arts, entertainment, and recreation uses”. The property is located between CityLine Drive and President George Bush Highway east of Plano Road. Applicant: Brad Moss, Kimley-Horn and Associates, representing BCS East Lane Investments, LP. *Staff: Chris Shacklett.*

ADJOURN

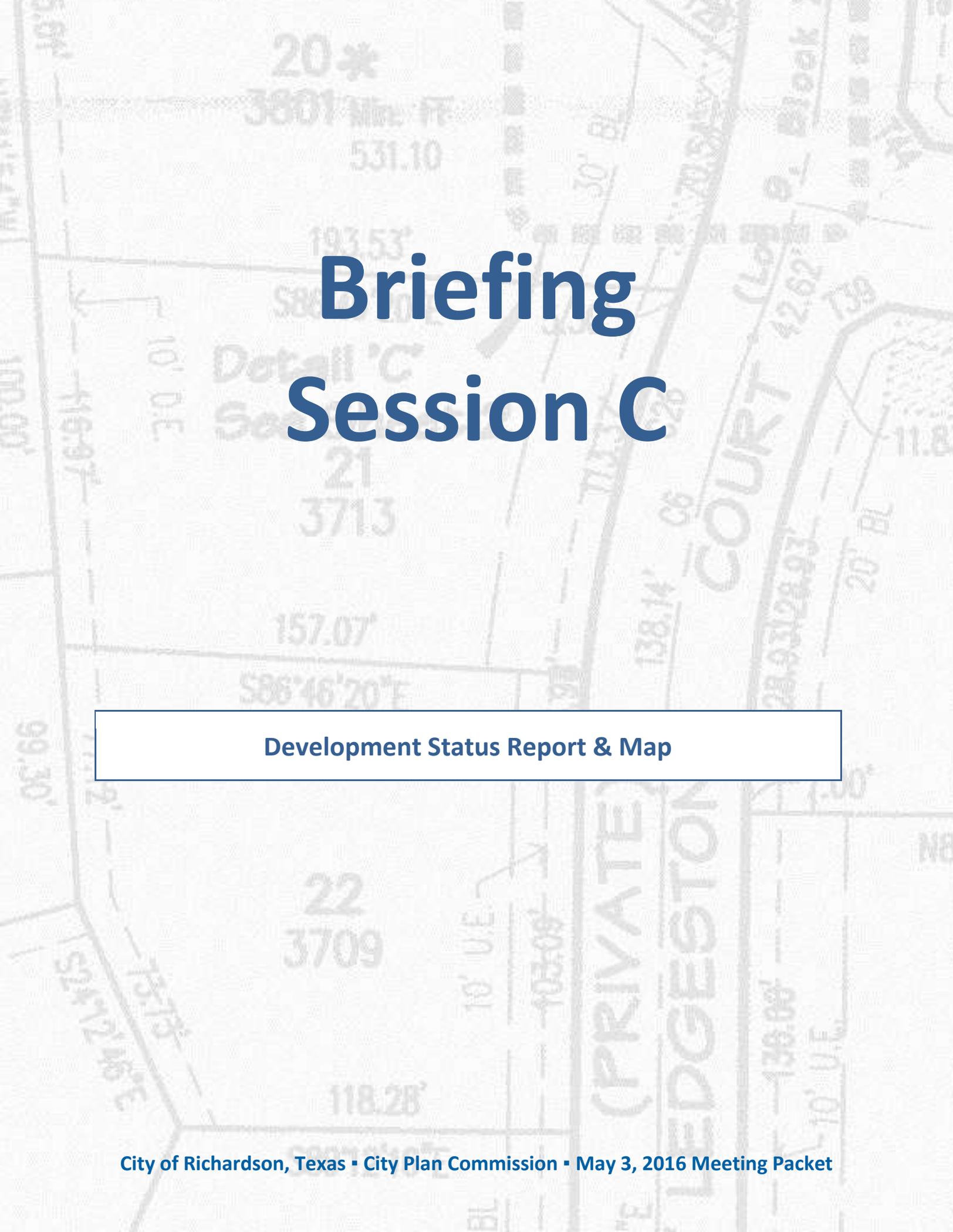
I HEREBY CERTIFY THAT THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT CITY HALL ON OR BEFORE 5:30 P.M., FRIDAY, APRIL 29, 2016.

KATHY WELP, EXECUTIVE SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING TAYLOR LOUGH, ADA COORDINATOR, VIA PHONE AT 972 744-4208, VIA EMAIL AT ADACoordinator@COR.GOV, OR BY APPOINTMENT AT 411 W. ARAPAHO ROAD, RICHARDSON, TEXAS 75080.

PURSUANT TO SECTION 30.06 PENAL CODE (TRESPASS BY HOLDER WITH A CONCEALED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A CONCEALED HANDGUN.

PURSUANT TO SECTION 30.07 PENAL CODE (TRESPASS BY HOLDER WITH AN OPENLY CARRIED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A HANDGUN THAT IS CARRIED OPENLY.



Briefing Session C

Development Status Report & Map



Development Status Report

City of Richardson, Texas • Development Services Department

Updated: April 28, 2016

#	Name/Location	Project Information	Status
ZONING/SPECIAL PERMIT			
1	PDQ 2060 N. Coit Rd.	Zoning File 16-04: A request for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road, east side of Coit Road north of Campbell Road. The property is currently zoned LR-M(2) Local Retail. Applicant: Dan H. Smith, representing Foremark Real Estate Services. <i>Staff: Chris Shacklett.</i>	City Plan Commission April 19, 2016 <i>Recommended Approval</i> City Council May 9, 2016
2	AutoZone 1325 E. Belt Line Rd.	Zoning File 16-07: A request for approval of a Special Permit for a "motor vehicle repair shop, minor" use to be located at 1325 E. Belt Line Road (north side of Belt Line Road, west of Plano Road. The property is currently zoned C-M Commercial and LR-M(2) Local Retail. Applicant: Jeff Kauerz, representing Autozone Parts, Inc. <i>Staff: Chris Shacklett.</i>	City Plan Commission April 5, 2016 <i>Recommended Approval</i> City Council May 9, 2016
3	What a Great Dog! Training Center 655 N. Glenville Dr.	Zoning File 16-08: A request for approval of a Special Permit for a boarding kennel, limited to dog training, to be located at 655 N. Glenville Drive (northwest corner of Glenville Drive and Columbia Drive). The property is currently zoned I-M(1) Industrial. Applicant: Harold Patin, representing What a Great Dog! Training Center. <i>Staff: Chris Shacklett.</i>	City Plan Commission April 19, 2016 <i>Recommended Approval</i> City Council May 9, 2016
4	CityLine East NE of Plano Rd. & CityLine Dr.	Zoning File 16-10: A request to amend a 47.9-acre portion of the 62.5-acre of the CityLine East PD to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for "arts, entertainment, and recreation uses". The property is located between CityLine Drive and President George Bush Highway, east of Plano Road. The property is currently zoned PD Planned Development. Applicant: Bradley Moss, Kimley-Horn and Associates, Inc., representing BCS East Land Investments, LP. <i>Staff: Chris Shacklett.</i>	City Plan Commission May 3, 2016 City Council May 9, 2016



Development Status Report

City of Richardson, Texas • Development Services Department

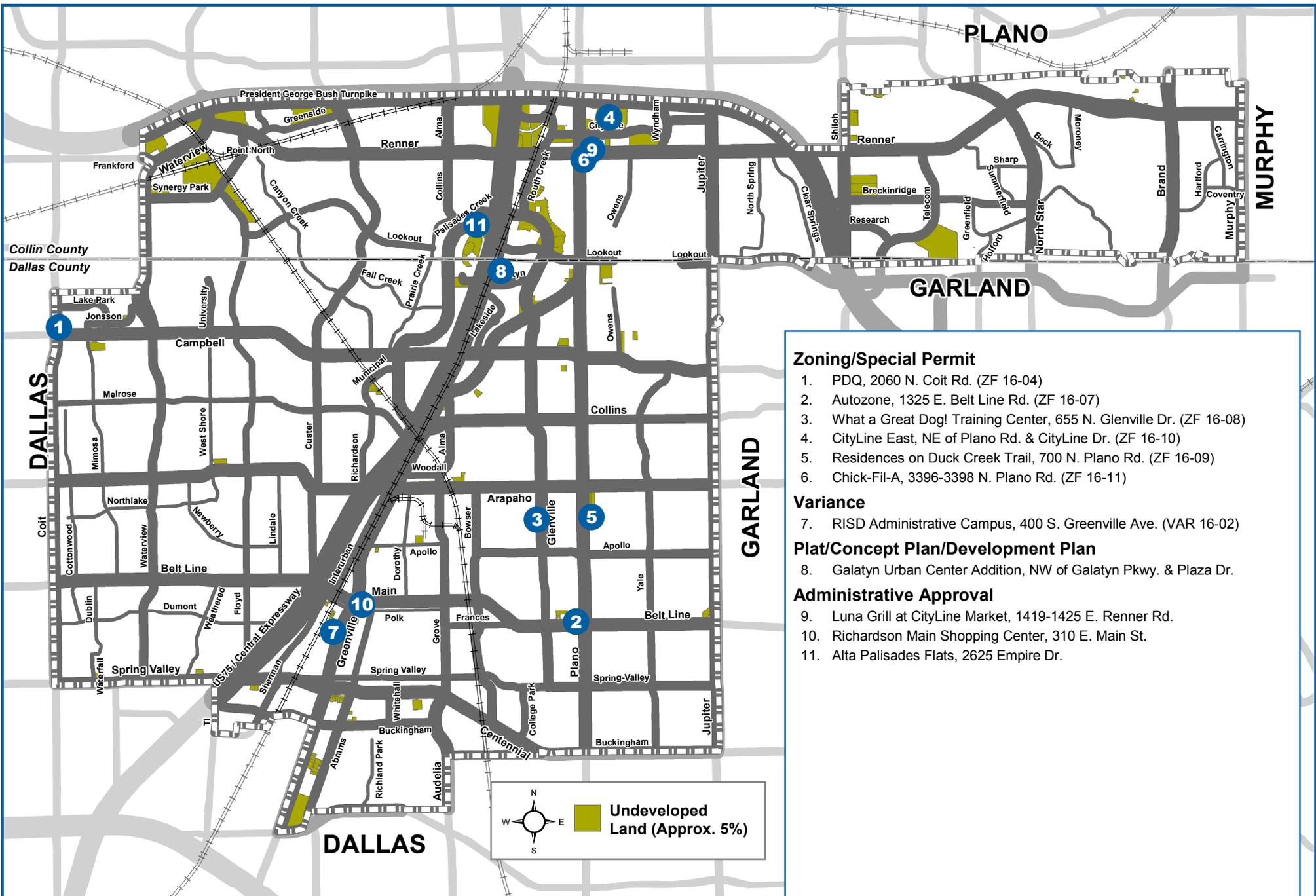
#	Name/Location	Project Information	Status
ZONING/SPECIAL PERMIT (CONT'D)			
5	Residences on Duck Creek Trail 700 N. Plano Rd.	Zoning File 16-09: A request for a change in zoning from R-1800-M Residential to PD Planned Development to accommodate the development of a maximum 43-unit residential community, including apartments and/or townhomes, to be located on an approximately 4.65-acre tract located at 700 N. Plano Road (east side of Plano Road, approximately 1,200 feet south of Arapaho Road). The property is currently zoned R-1800-M Residential. Applicant: Travis Thompson, representing Twin Rivers Capital Partners II, LLC. Staff: <i>Chris Shacklett.</i>	City Plan Commission May 17, 2016 <i>Tentative</i>
6	Chick-Fil-A 3396-3398 N. Plano Rd.	Zoning File 16-11: A request for approval of a Special Permit for a restaurant with drive-through service to be located at 3396-3398 N. Plano Road (southeast corner of Plano Road and Renner Road). The property is currently zoned LR-M(2) Local Retail. Applicant: Bryan M. Burger, representing Burger Engineering, LLC. Staff: <i>Chris Shacklett.</i>	City Plan Commission May 17, 2016 <i>Tentative</i>
VARIANCE			
7	RISD Administrative Campus 400 S. Greenville Ave.	Variance 16-02: A request for approval of a variance from Chapter 21, the Subdivision and Development Code, for a waiver to the masonry screening requirement for a nonresidential use abutting a residential use. The site is located at 400 S. Greenville Avenue. Applicant: Robert Howman, Glenn Engineering, representing Richardson I.S.D. Staff: <i>Mohamed Bireima.</i>	City Plan Commission April 5, 2016 <i>Recommended Approval</i> City Council May 9, 2016
PLAT/CONCEPT PLAN/DEVELOPMENT PLAN			
8	Galatyn Urban Center Addition NW of Galatyn Pkwy. & Plaza Dr.	Replat: Consider and take necessary action on a requests for approval of a replat for Lots 7B & 8, Block A of the Galatyn Urban Center Addition to create two (2) lots from one (1) lot and to dedicate easements to accommodate future development. The 8.41-acre site is located at the northwest corner of Galatyn Parkway and Plaza Drive. Applicant: Joseph Hornsiher, Kimley-Horn, representing Galatyn Properties. Staff: <i>Susan Smith.</i>	City Plan Commission May 3, 2016



Development Status Report

City of Richardson, Texas • Development Services Department

#	Name/Location	Project Information	Status
ADMINISTRATIVE APPROVAL			
9	Luna Grill at CityLine Market 1419-1425 E. Renner Rd.	Site & Landscape Plans: Revised the site and landscape plans to reflect installation of a 700 square feet covered patio within the courtyard between Buildings “D” and “E”. <i>Staff: Mohamed Bireima.</i>	Staff March 23, 2016 <i>Approved</i> Approval Memo & Plans
10	Richardson Main Shopping Center 310 E. Main St.	Building Elevations: Revised the building elevations plans to reflect the removal of two (2) windows on the west building elevation and the treatment of the subject area with the same masonry material used on the elevation. <i>Staff: Mohamed Bireima.</i>	Staff April 8, 2016 <i>Approved per the Main Street/Central Expressway PD Code</i> Approval Memo & Plans
11	Alta Palisades Flats 2625 Empire Dr.	Site Plan: Administrative approval of a revised site plan to reflect modifications to the project summary to include an increase in the number of multifamily units from 229 to 232 and an increase to the total building square footage from 320,727 square feet to 333,963 square feet. The building footprints remain unchanged. <i>Staff: Mohamed Bireima.</i>	Staff April 19, 2016 <i>Approved per the Palisades PD Code</i> Approval Memo & Plans



- Zoning/Special Permit**
1. PDQ, 2060 N. Coit Rd. (ZF 16-04)
 2. Autozone, 1325 E. Belt Line Rd. (ZF 16-07)
 3. What a Great Dog! Training Center, 655 N. Glenville Dr. (ZF 16-08)
 4. CityLine East, NE of Plano Rd. & CityLine Dr. (ZF 16-10)
 5. Residences on Duck Creek Trail, 700 N. Plano Rd. (ZF 16-09)
 6. Chick-Fil-A, 3396-3398 N. Plano Rd. (ZF 16-11)
- Variance**
7. RISD Administrative Campus, 400 S. Greenville Ave. (VAR 16-02)
- Plat/Concept Plan/Development Plan**
8. Galatyn Urban Center Addition, NW of Galatyn Pkwy. & Plaza Dr.
- Administrative Approval**
9. Luna Grill at CityLine Market, 1419-1425 E. Renner Rd.
 10. Richardson Main Shopping Center, 310 E. Main St.
 11. Alta Palisades Flats, 2625 Empire Dr.

Development Status Map

City of Richardson, Texas

Updated: April 28, 2016



Agenda Item 1

**Approval of the minutes of the April 19, 2016
City Plan Commission Meeting**

**CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – APRIL 19, 2016**

The Richardson City Plan Commission met on April 19, 2016, at 7:00 p.m. at City Hall in the Council Chambers, 411 W. Arapaho Road, Richardson, Texas.

MEMBERS PRESENT: Gerald Bright, Chairman
Ron Taylor, Vice Chair
Janet DePuy, Commissioner
Bill Ferrell, Commissioner
Tom Maxwell, Commissioner
Randy Roland, Commissioner
Ken Southard, Alternate
Stephen Springs, Alternate

MEMBER ABSENT: Marilyn Frederick, Commissioner

CITY STAFF PRESENT: Sam Chavez, Asst. Director of Development Services
Chris Shacklett, Senior Planner
Dan Tracy, Development Planner
Kathy Welp, Executive Secretary
Dana Slechta, Administrative Secretary I

BRIEFING SESSION

Prior to the start of the regular business meeting, the City Plan Commission met with staff regarding staff reports and agenda items. No action was taken.

MINUTES

1. Approval of the minutes of the regular business meeting of April 5, 2016.

Motion: Vice Chair Taylor made a motion to approve the April 5, 2016 minutes as presented; second by Commissioner Maxwell. Motion approved 7-0.

ZONING CASES

2. Zoning File 16-04 – PDQ (continued from March 15, 2016 and April 5, 2016 meeting): Consider and take necessary action on a request for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road, east side of Coit Road, north of Campbell Road. The property is currently zoned LR-M(2) Local Retail.

Mr. Shacklett stated the applicant was requesting approval of a Special Permit for a restaurant with a drive-through service to be located at 2060 N. Coit Road at the northeast corner of Coit and Campbell Roads in the Lennox Shopping Center. The applicant was proposing to demolish the existing building and construct a 3,300 square foot restaurant with a drive-through.

Mr. Shacklett reviewed comments from the previous meeting regarding concerns over the roof design and material, but noted those items had been updated in the current submittal.

Mr. Shacklett said that if the case was recommended for approval, the zoning exhibit and elevations would be attached as well as the requirement for parking and dumpster agreements between the applicant, the shopping center and the adjoining businesses.

In closing his presentation, Mr. Shacklett stated he had five (5) letters in support from various tenants in the shopping center.

Commissioner Springs asked if the only reason the case was before the Commission was due to the drive-through.

Mr. Shacklett replied that if the restaurant did not have a drive-through the site and landscape plans would be the only items up for review.

With no further questions for staff, Chairman Bright opened the public hearing.

Mr. Daniel Smith, Foremark Real Estate Services, 8235 Douglas Avenue, Suite 945, Dallas, Texas, stated that although a tile roof was a deviation from the PDQ brand (red metal standing seam roof); they had updated the roof design to address concerns from the previous meeting. He added that PDQ corporate confirmed the existing roof structure would support a clay tile roof.

Commissioner Ferrell asked what percentage of business came from the drive-through versus customers coming into the restaurant.

Mr. Smith replied that 40% of their business was from drive-through and 60% from patrons actually visiting inside the restaurant.

Commissioner Roland thanked the applicant for working with the City and making the compromises.

With no further comments in favor or opposed, Chairman Bright closed the public hearing.

Motion: Commissioner Roland made a motion to recommend approval for Zoning File 16-04 as presented; second by Commissioner DePuy. Motion approved 7-0.

- 3. Zoning File 16-08 – What a Great Dog! Training Center:** Consider and take necessary action on a request for approval of a Special Permit for a boarding kennel (limited to dog training, grooming and rehabilitation services). The property is located at 655 N. Glenville Drive, northwest corner of Glenville Drive and Columbia Drive and is zoned I-M (1) Industrial.

Mr. Shacklett advised that the applicant was requesting a Special Permit for a boarding kennel at 655 N. Glenville Drive and under the City's Comprehensive Zoning Ordinance a boarding kennel was defined as: *“an establishment in which five or more domestic animals more than four months of age are house, groomed, bred, trained or sold for commercial purposes.”* However, the proposed business would only have animals present for dog training, grooming and rehabilitation and kennel services would not be provided.

Mr. Shacklett stated the applicant would convert the existing landscaping beds on the south and east sides of the lease space from the current ground cover to an artificial turf for ease of maintenance as well as clean-up of pet waste. In addition, the applicant was aware of the need for specific wall construction to bring the business up to code when animals are present in a building adjacent to other businesses.

Mr. Shacklett said the City did not have an established parking ratio for a boarding kennel use and staff was proposing to park the business similar to an office, which would require a minimum of 35 parking spaces and the site was currently over parked by 71 spaces.

Mr. Shacklett concluded his presentation by noting that staff had not received any correspondence and if the item was approved by the Commission the earliest City Council meeting date would most likely be May 9, 2016.

Commissioner Ferrell asked if the parking ratio was determined by the entire site or did each building have a set number of spaces based on the occupancy. He also wanted to know if the minimum parking spaces were a requirement that was tied to dog kennel or training facilities.

Mr. Shacklett replied that if the proposed business was an office use it would require approximately 60 parking spaces (1:250), or 16 parking spaces for a warehouse. (1:1,000), but staff felt the proposed use fell in between an office and a warehouse.

Mr. Shacklett suggested that if the item was approved, the Commission might consider adding a condition requiring a minimum of two pet waste stations - one on the south and one on the east sides of the building.

With no further questions for staff, Chairman Bright opened the public hearing

Ms. Maureen Patin, 3730 East Prosper Trail, Prosper Texas, stated that she and her partners currently own What A Great Dog Training Center, in Frisco, Texas, located in a multi-tenant building in the Frisco Commerce Center and the Richardson site was where they were hoping to open their second location.

Ms. Patin said their business would be a grooming, training and rehabilitation only with some retail sales for their clients. She added that group and private classes would be held seven (7) days a week.

Ms. Patin stated the current landscaping on the south and east side of the building would be replaced with a layer of decomposed granite topped by artificial turf to make it easier for cleaning and disinfecting. In addition, there would be one pet waste receptacle located in each area for owners to dispose of the pet waste.

Commissioner Ferrell asked how the applicant would market their business and how long she had been a trainer.

Mr. Patin replied that most of their marketing was done through area veterinarians and that she had been a professional trainer for nine (9) years.

Commissioner Southard asked what area they anticipated drawing their customers from.

Ms. Patin replied that about half of the business was pet training and the majority of those customers would come from the immediate area. The other half of the business was specialty training and those clients could pull from a larger area. She added that the new location would open up the eastern side of the Metroplex and beyond (i.e., Rockwall, Wyle, and Garland).

Commissioner DePuy asked about the operating hours and if there were night classes. She also wanted to know if guard dog training would be provided.

Ms. Patin replied they would be open from 9:00 a.m. to 8:00 p.m. Monday through Friday and the weekends from 9:00 a.m. – 4:00 p.m., and protective dog training would not be provided because of safety concerns.

With no further comments in favor or opposed, Chairman Bright closed the public hearing.

Motion: Commissioner Ferrell made a motion to recommend approval of Zoning File 16-08 as presented; second by Vice Chair Taylor.

Chairman Bright asked Commissioner Ferrell if he would accept an amendment for a special condition to require a minimum of two (2) pet waste pick up stations - one on the south and one on the east sides of the building.

Commissioner Ferrell accepted the amendment; second by Vice Chair Taylor: Motion approved 7-0.

ADJOURN

With no further business before the Commission, Chairman Bright adjourned the regular business meeting at 7:31 p.m.

Gerald Bright, Chairman
City Plan Commission

Agenda Item 2

**Replat:
Galatyn Urban Center Addition**

Galatyn Urban Center

Attachments:

1. Locator
2. Replat Staff Report
3. Replat



Galatyn Urban Center, Lots 7B & 8, Block A
2305 & 2351 Plaza Boulevard



**CITY PLAN COMMISSION
STAFF REPORT
May 3, 2016**

Public Hearing on a Replat

PROJECT SUMMARY

Subdivision:	Galatyn Urban Center, Lots 7B and 8, Block A <i>being a replat of Galatyn Urban Center, Lot 7A, Block A.</i>
Location: Lot 7B Lot 8	Northwest corner of Galatyn Parkway and Plaza Boulevard 2351 Plaza Boulevard 2305 Plaza Boulevard
Staff Comments:	The purpose of the replat is to subdivide the property into two (2) lots and dedicate easements for the development of the southern lot (Lot 8) for a multi-family community. The replat complies with City subdivision regulations.
CPC Action:	Final decision

BACKGROUND

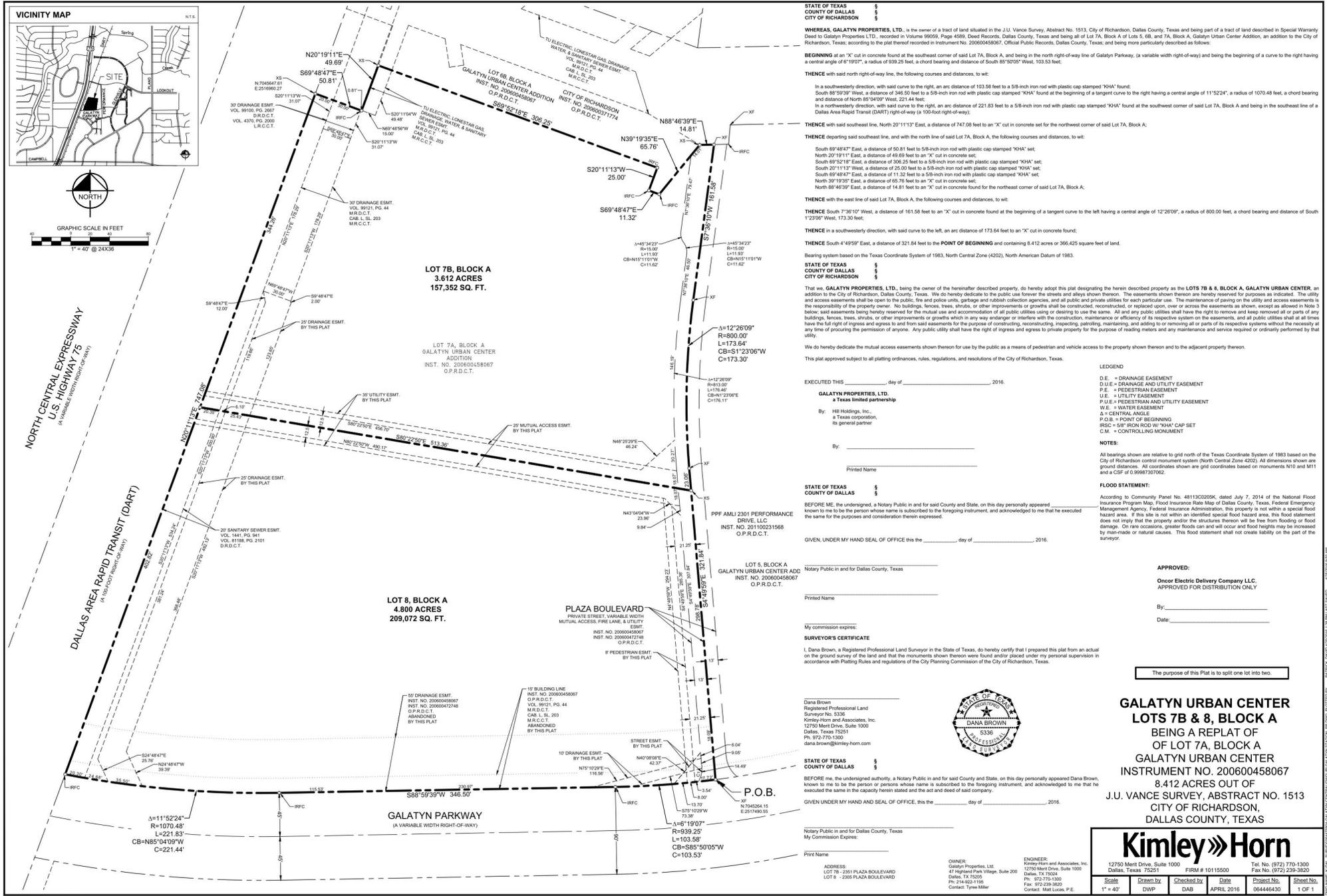
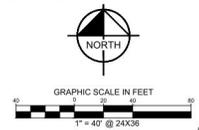
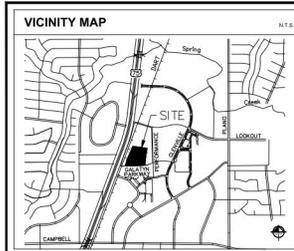
Tract Size: Lot 7B Lot 8	8.41 acres (366,425 square feet) 3.61 acres (157,352 square feet) 4.80 acres (209,072 square feet)
Zoning:	Planned Development (PD)
Right-of-way Dedication:	None
Easements/Setbacks: Existing to Remain Lot 7B Lot 8	50' wide TU Electric, Lonestar Gas, drainage, water and sanitary easement; Variable width private street, mutual access, fire lane and utility easement; 20' sanitary sewer easement; and 30' drainage easement. Variable width private street, mutual access, fire lane and utility easement; 15' building line; 55' drainage easement; and 20' sanitary sewer easement.

Dedicated by this Plat

Lot 7B	12.5' mutual access easement; 17.5' utility easement; and 25' drainage easement.
Lot 8	12.5' mutual access easement; 17.5' utility easement; 8' pedestrian easement; Varied width street easement; 10' drainage easement; 20' sanitary sewer easement; and 25' drainage easement

Abandoned by this Plat

Lot 7B	None
Lot 8	15' building line; and 55' drainage easement



STATE OF TEXAS §
 COUNTY OF DALLAS §
 CITY OF RICHARDSON §

WHEREAS, GALATYN PROPERTIES, LTD., is the owner of a tract of land situated in the J.U. Vance Survey, Abstract No. 1513, City of Richardson, Dallas County, Texas and being part of a tract of land described in Special Warranty Deed to Galatyn Properties, LTD., recorded in Volume 96009, Page 4989, Deed Records, Dallas County, Texas and being all of Lot 7A, Block A of Lots 5, 6B, and 7A, Block A, Galatyn Urban Center Addition, an addition to the City of Richardson, Texas, according to the plat filed and recorded in Instrument No. 200600458067, Official Public Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING an "X" cut in concrete found at the southeast corner of said Lot 7A, Block A, and being in the north right-of-way line of Galatyn Parkway, (a variable width right-of-way) and being the beginning of a curve to the right having a central angle of 6°19'07", a radius of 939.25 feet, a chord bearing and distance of South 85°50'05" West, 103.53 feet;

THENCE with said north right-of-way line, the following courses and distances, to wit:

In a southeasterly direction, with said curve to the right, an arc distance of 103.58 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found:
 South 85°59'39" West, a distance of 346.50 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found at the beginning of a tangent curve to the right having a central angle of 11°52'24", a radius of 1070.48 feet, a chord bearing and distance of North 84°10'09" West, 221.44 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 221.83 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found at the southwest corner of said Lot 7A, Block A and being in the southeast line of a Dallas Area Rapid Transit (DART) right-of-way (a 100-foot right-of-way).

THENCE with said southeast line, North 20°11'13" East, a distance of 747.06 feet to an "X" cut in concrete set for the northwest corner of said Lot 7A, Block A;

THENCE departing said southeast line, and with the north line of said Lot 7A, Block A, the following courses and distances, to wit:

South 69°48'47" East, a distance of 50.81 feet to 5/8-inch iron rod with plastic cap stamped "KHA" set;
 North 20°19'11" East, a distance of 49.69 feet to an "X" cut in concrete set;
 South 69°52'18" East, a distance of 398.25 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
 South 20°11'13" West, a distance of 25.00 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
 South 69°48'47" East, a distance of 11.32 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
 North 30°19'57" East, a distance of 65.76 feet to an "X" cut in concrete found for the northeast corner of said Lot 7A, Block A;

North 85°46'39" East, a distance of 14.81 feet to an "X" cut in concrete found for the northeast corner of said Lot 7A, Block A;

THENCE with the east line of said Lot 7A, Block A, the following courses and distances, to wit:

THENCE South 7°30'10" West, a distance of 161.58 feet to an "X" cut in concrete found at the beginning of a tangent curve to the left having a central angle of 12°26'09", a radius of 800.00 feet, a chord bearing and distance of South 1°23'09" West, 173.30 feet;

THENCE in a southeasterly direction, with said curve to the left, an arc distance of 173.64 feet to an "X" cut in concrete found;

THENCE South 4°49'59" East, a distance of 321.64 feet to the **POINT OF BEGINNING** and containing 8.4125 acres of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

STATE OF TEXAS §
 COUNTY OF DALLAS §
 CITY OF RICHARDSON §

That we, GALATYN PROPERTIES, LTD., being the owner of the hereinafter described property, do hereby adopt this plat designating the herein described property as the **LOTS 7B & 8, BLOCK A, GALATYN URBAN CENTER**, an addition to the City of Richardson, Dallas County, Texas. We do hereby dedicate to the public use forever the streets and alleys shown thereon. The easements shown thereon are hereby reserved for purposes as indicated. The utility and access easements shown on this plat are for the public and private utilities for each particular use. The maintenance of paving on the utility and access easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or replaced upon, over or across the easements as shown, except as allowed in Note 3 below; said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. All and any public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from said easements for the purpose of constructing, reconstructing, installing, maintaining, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to provide property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

We do hereby dedicate the mutual access easements shown thereon for use by the public as a means of pedestrian and vehicle access to the property shown thereon and to the adjacent property thereon.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Richardson, Texas.

EXECUTED THIS _____ day of _____, 2016.

GALATYN PROPERTIES, LTD.
 a Texas limited partnership

By: **Hill Holdings, Inc.**
 a Texas corporation,
 its general partner

By: _____
 Printed Name

STATE OF TEXAS §
 COUNTY OF DALLAS §
 CITY OF RICHARDSON §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2016.

Notary Public in and for Dallas County, Texas

Printed Name

My commission expires:

SURVEYOR'S CERTIFICATE

I, Dana Brown, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were found and/or placed under my personal supervision in accordance with Platting Rules and regulations of the City Planning Commission of the City of Richardson, Texas.



STATE OF TEXAS §
 COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared Dana Brown, known to me to be the person or persons whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in the capacity herein stated and the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2016.

Notary Public in and for Dallas County, Texas

My Commission Expires:

Print Name

OWNER:
 Galatyn Properties, Ltd.
 47 Highland Park Village, Suite 200
 Dallas, TX 75205
 Ph: 972-719-1300
 Contact: Tyne Miller

ENGINEER:
 Kimley-Horn and Associates, Inc.
 12750 Merit Drive, Suite 1000
 Dallas, TX 75250
 Ph: 972-719-1300
 Fax: 972-239-2620
 Contact: Matt Lusk, P.E.

- LEGEND**
- D.E. = DRAINAGE EASEMENT
 - D.U.E. = DRAINAGE AND UTILITY EASEMENT
 - P.E. = PEDESTRIAN EASEMENT
 - U.E. = UTILITY EASEMENT
 - P.U.E. = PEDESTRIAN AND UTILITY EASEMENT
 - W.E. = WATER EASEMENT
 - A = CENTRAL ANGLE
 - P.O.B. = POINT OF BEGINNING
 - RSC = 5/8" IRON ROD W/ "KHA" CAP SET
 - C.M. = CONTROLLING MONUMENT
- NOTES:**
- All bearings shown are relative to grid north of the Texas Coordinate System of 1983 based on the City of Richardson control monument system (North Central Zone 4202). All dimensions shown are ground distances. All coordinates shown are grid coordinates based on monuments N412 and M11 and a CSF of 0.99987307062.

FLOOD STATEMENT:

According to Community Panel No. 48113C0205K, dated July 7, 2014 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Dallas County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is not within a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

APPROVED:
Oncor Electric Delivery Company LLC
 APPROVED FOR DISTRIBUTION ONLY

By: _____
 Date: _____

The purpose of this Plat is to split one lot into two.

GALATYN URBAN CENTER
LOTS 7B & 8, BLOCK A
 BEING A REPLAT OF
 OF LOT 7A, BLOCK A
 GALATYN URBAN CENTER
 INSTRUMENT NO. 200600458067
 8.412 ACRES OUT OF
 J.U. VANCE SURVEY, ABSTRACT NO. 1513
 CITY OF RICHARDSON,
 DALLAS COUNTY, TEXAS

Kimley»Horn

12750 Merit Drive, Suite 1000 Dallas, Texas 75251 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-2620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	DWP	DAB	APRIL 2016	064446430	1 OF 1

Agenda Item 3

**Zoning File 16-10:
CityLine East PD Amendments**

ZONING FILE 16-10

Attachments:

1. Staff Report
2. Zoning Map
3. Aerial Map
4. Oblique Aerial Looking North
5. Zoning Exhibit (Exhibit "B")
6. Applicant's Statement
7. Notice of Public Hearing
8. Notification List
9. CityLine East Planned Development Code



Staff Report

TO: City Plan Commission

FROM: Chris Shacklett, Senior Planner **CS**

DATE: April 29, 2016

RE: **Zoning File 16-10:** CityLine East PD Amendments – East side of Plano Road, between CityLine and President George Bush Highway

REQUEST:

Amend a 47.9-acre portion of the 62.5-acre CityLine East PD Planned Development to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for “arts, entertainment, and recreation” uses. The property is located on the east side of Plano Road, between CityLine Drive and President George Bush Highway. (see applicant’s statement for further explanation)

APPLICANT / PROPERTY OWNERS:

Bradley Moss, Kimley-Horn and Associates / Walt Mountford, KDC, representing BCS East Land Investments, LP

EXISTING DEVELOPMENT:

The subject properties are undeveloped. The area within the CityLine East PD, not included in this request, has been developed as State Farm, Building 4. The 17-story building, totaling approximately 570,000 square feet, contains office space and ground floor space for retail and restaurant.

ADJACENT ROADWAYS:

President George Bush Highway: Freeway/Turnpike; 86,000 vehicles per day on all lanes, eastbound and westbound, east of Central Expressway (2015).

Plano Road: Six-lane, divided arterial; 31,100 vehicles per day on all lanes, northbound and southbound, south of Renner Road (2015).

CityLine Drive: Four-lane, divided collector; no traffic counts.

SURROUNDING LAND USE AND ZONING:

North: City of Plano
South: Retail/Commercial; PD Planned Development
East: Future Open Space; PD Planned Development
West: Office/Retail/Apartments; PD Planned Development

FUTURE LAND USE PLAN:

Regional Employment

Higher density development is appropriate with the primary use being high-rise office. Secondary uses include retail centers and entertainment venues.

Future Land Uses of Surrounding Area:

North: City of Plano
South: Regional Employment (developing as Retail/Commercial)
East: Regional Employment
West: Transit Village

EXISTING ZONING:

PD Planned Development (Ordinance Number 4049) – CityLine East Planned Development Code) within the TOD Mixed Use Character Zone. The subject property is located allows a mix of uses, including retail, restaurant, office uses, entertainment, and residential uses.

TRAFFIC/ INFRASTRUCTURE IMPACTS:

The request will not have any significant impacts on the surrounding existing utilities in the area.

STAFF COMMENTS:

Background:

In 2012, approximately 147 acres (bounded by Renner Road to the south, Plano Road to the west, PGBT to the north and Wyndham Lane to the east) was rezoned to PD Planned Development to accommodate a mix of uses, including retail, restaurant, office, and residential uses. All residential uses were concentrated in the NW quadrant in the area (subject property). This area was subsequently rezoned as CityLine East in 2014.

The CityLine East PD allows uses, including retail, restaurant, office, entertainment, and residential uses. State Farm Building 4 is currently under construction within the PD. Additionally, there are two (2) projects under review along the east side of Plano Road, between State Street and CityLine Drive which will be developed as approximately 500 apartment units and 22,600 square feet of ground floor retail in one (1) of the apartment buildings. Within the CityLine East PD, a total of 1,925 residential units and 2.5 million square feet of non-residential development are currently allowed.

Request:

Since 2012, the owner/developer, KDC, has acquired 186 acres between the DART Light Rail and Wyndham Lane and developed a significant portion of the land for the following (currently open or under construction):

- Over 200,000 square feet of retail and restaurant space
- Over 900 apartment units
- 148-room hotel
- 40,000-square foot wellness office and fitness center
- Over 2.5 million square feet of office space
- Multiple open space areas

KDC is requesting to amend the current CityLine East PD to accommodate the future development of property within the PD (specifically Tract 2 as a movie theater) for an arts, entertainment, or recreation use as defined by Section 6 of the Code. Uses in this category include, but are not limited to, art galleries, theaters, cinemas, museums, and fitness clubs. These changes include modifications to the minimum transparent storefront glass requirements, minimum required material percentages, and vertical façade rhythm requirements. To further accommodate the development of Tract 2 for the above uses, the applicant is also requesting that a surface parking lot be allowed on Tract 3 as a primary use. Lastly, the applicant is requesting the ability to provide temporary parking lots throughout the CityLine East PD (referred to Tract 1) to provide replacement parking that may be necessary as future tracts within the area develop. These three requests are discussed in detail below.

Tract 2 Modifications:

The area noted as Tract 2 on the zoning exhibit is the future location for a movie theater. The property would be bounded by Civic/Open Space to the north, a Type ‘A’ street to the west, a Type ‘B’ street to the south, and an alley to the east. The applicant states the building cannot conform to all requirements of the PD due to the unique design requirements of a movie theater facility.

Window Area – The design of a building to accommodate this use requires higher than normal façade height for a 1-story building, as well as predominantly opaque construction materials. A typical 1-story building is less than twenty-five (25) feet in height; however, the proposed building would exceed forty (40) feet in height. For these reasons, the applicant states the minimum required percentages for transparent storefront windows cannot be provided. The requirements and requested reductions are as follows:

- North façade (Civic/Open Space) – The minimum required percentage is 50%. The applicant is proposing to provide a minimum 5%. The majority of this façade would likely be adjacent to theaters.
- West façade (Type ‘A’ Street – Wilshire Way) – The minimum required percentage is 50%. The applicant is proposing to provide a minimum of 30%. This area would likely be adjacent to the lobby area so a higher percentage can be provided. Furthermore, within the lower twenty-five (25) feet of façade area, approximately 47% is provided; however, the upper portions of the façade would not provide windows, thereby reducing the overall percentage of windows.

- South façade (Type 'B' Street – Hunt Street) – The minimum required percentage is 15%. The applicant is proposing to provide a minimum of 0%. This façade would likely be adjacent to theaters; it would also be the side of the building where trash services and ground mounted utilities would likely be located.

Façade Rhythm – The CityLine East PD requires that buildings shall maintain a 20-40 foot façade rhythm along Type 'A' frontages. This requirement would apply along the west façade along Wilshire Way. Façade rhythm may be expressed by changing materials, color or using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade. The applicant is requesting the waiver to allow the use longer expanses of building materials as part of the unique design of the proposed building.

Building Materials – The CityLine East PD requires at least 85% of each building's façade along all streets be finished in materials such as brick, stone, 3-step process stucco, architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block. Additionally, up to 15% of each façade along a street may use accent materials such as wood, architectural metal panels, split-face concrete block, or tile. The applicant proposes to use architectural metal panels as a building material that would exceed the 15% limitation on building facades to provide the unique building design desired for this specific use.

In the CityLine East PD, architectural metal panels are treated as an accent material, but codes such as the West Spring Valley Corridor PD and Main Street/Central Expressway Form Based Code have allowed ventilated façade systems as primary building materials. These systems routinely utilize various types of metal as the exterior finish of the system. Although, a ventilated façade system and architectural metal panels differ in terms of their application, the appearance of the two (2) materials is similar.

Tract 3 Modification:

The area noted as Tract 3 on the zoning exhibit is the future location for a surface parking lot that will provide additional parking for the movie theater. The lot would provide approximately 250 parking spaces. It would be accessed via an alley along the west property line, separating the parking lot from the movie theater. Although the movie theater's required parking will be met within the parking garage of the State Farm Building 4, the theater anticipates additional parking will be necessary to accommodate the daytime matinee demand. Since the proposed surface parking lot would be located on a lot separate from the movie theater, the parking lot is considered the primary use of the property, and therefore it is prohibited. If the two (2) were platted together, the surface parking would be allowed as an accessory use to the movie theater.

The developer anticipates the tract to be developed in the future, possibly with a multi-story building with an incorporated parking garage. At such time, the surface lot would likely be incorporated as the ground floor of the parking structure. However, the timing of such development is uncertain at this time, and the applicant is requesting the surface parking lot be allowed without a time limit. The lot would be required to be constructed of concrete, and at such time streets are constructed along the edges of the surface parking lot, the pedestrian areas as shown in Section 9.4 (Street Sections) and the surface parking lot would also be required to be screened in accordance with Section 7.2.6 of the Code.

Tract 1 Modification:

The area noted as Tract 1 on the zoning exhibit encompasses the entirety of the CityLine East PD, excluding the property developed as State Farm Building 4 and the open space area along the eastern edge of the PD. The amendment for Tract 1 is to allow temporary surface parking lots throughout the PD to facilitate the ultimate development of the surface parking lot on Tract 3 as well as allow for the future increase in density of other CityLine developments. As additional tracts develop within the CityLine East development, the developer anticipates the need for temporary relocation of parking areas to accommodate construction and interim parking demands.

The applicant is proposing several conditions that would be placed on temporary parking lots within the development if the request is approved. The conditions are as follows:

- A temporary parking lot may only be constructed to provide parking for previously approved and constructed parking spaces being disturbed or removed as part of a future development.
- No more than three (3) temporary parking lots shall be permitted at any one (1) time.
- No more than 500 parking spaces would be allowed in a single temporary parking lot.
- Temporary parking lots may be constructed of asphalt.
- Once a temporary parking lot is constructed, it shall be allowed to remain for the lesser of (i) forty-two (42) months or (ii) six (6) months after the issuance of a certificate of occupancy for the use associated with the permanent replacement spaces.

Although the developer is requesting 500 spaces within each lot to provide flexibility for future parking needs, their intent is not to build three (3) lots at maximum capacity, but rather to provide the flexibility in their size and capacity since the nature of all future developments are uncertain. Additionally, the time limitation associated with the temporary parking lots provide the City with assurances that ultimate buildout within the PD will be in accordance with the CityLine East PD regulations.

Correspondence: As of this date, no correspondence has been received.

Motion: The Commission will be making a recommendation to the City Council regarding this request. The Commission may approve the request, add or amend conditions, or recommend denial of the request. Should the CPC recommend approval of the applicant's request, the motion should include the following provision:

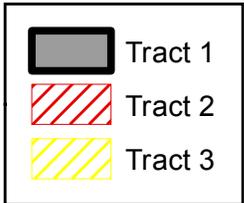
The CityLine East PD Planned Development Code (the Code) shall be amended in accordance with the following conditions and shall be limited to the tracts as described in the zoning exhibit attached hereto as Exhibit "B".

1. Tract 1 shall be amended to allow temporary parking lots in accordance with the following conditions:

- a. A temporary parking lot may only be constructed to provide parking to replace approved and constructed parking spaces being disturbed and/or removed as part of a future development.
 - b. No more than three (3) temporary parking lots shall be permitted to be constructed at any one (1) time.
 - c. No individual temporary parking lot shall exceed 500 parking spaces.
 - d. Temporary parking lots may be constructed of asphalt.
 - e. Once a temporary parking lot is constructed, it shall be removed after the lesser of (i) forty-two (42) months or (ii) no more than six (6) months after the issuance of a certificate of occupancy for the development for which the temporary parking lot was constructed.
2. Tract 2 shall be amended to allow the following exceptions to Section 8. Building Design Standards of the Code for “arts, entertainment, and recreation uses” as listed in Table 6.1 of the Code:
- a. The façade rhythm requirement in Section 8.1.5.i shall be waived along the west façade.
 - b. The minimum ground floor transparent storefront window percentage requirements in Section 8.1.6.ii shall be:
 - i. Minimum 30% along the west façade
 - ii. Minimum 5% along the north façade
 - iii. Minimum 0% along the south façade
 - c. Architectural metal panels shall be counted as a “masonry” material as described in Section 8.1.7.i.
3. Tract 3 shall be amended to allow a surface parking lot as listed in Table 6.1 of the Code as a primary use in accordance with the following conditions:
- a. The surface parking lot shall be constructed of concrete.
 - b. Should streets be constructed directly adjacent to the surface parking lot, the pedestrian easement area shall be constructed in accordance with the applicable street section established in Section 9 of the Code. Furthermore, the surface parking lot shall be screened in accordance with Section 7.2.6 of the Code.

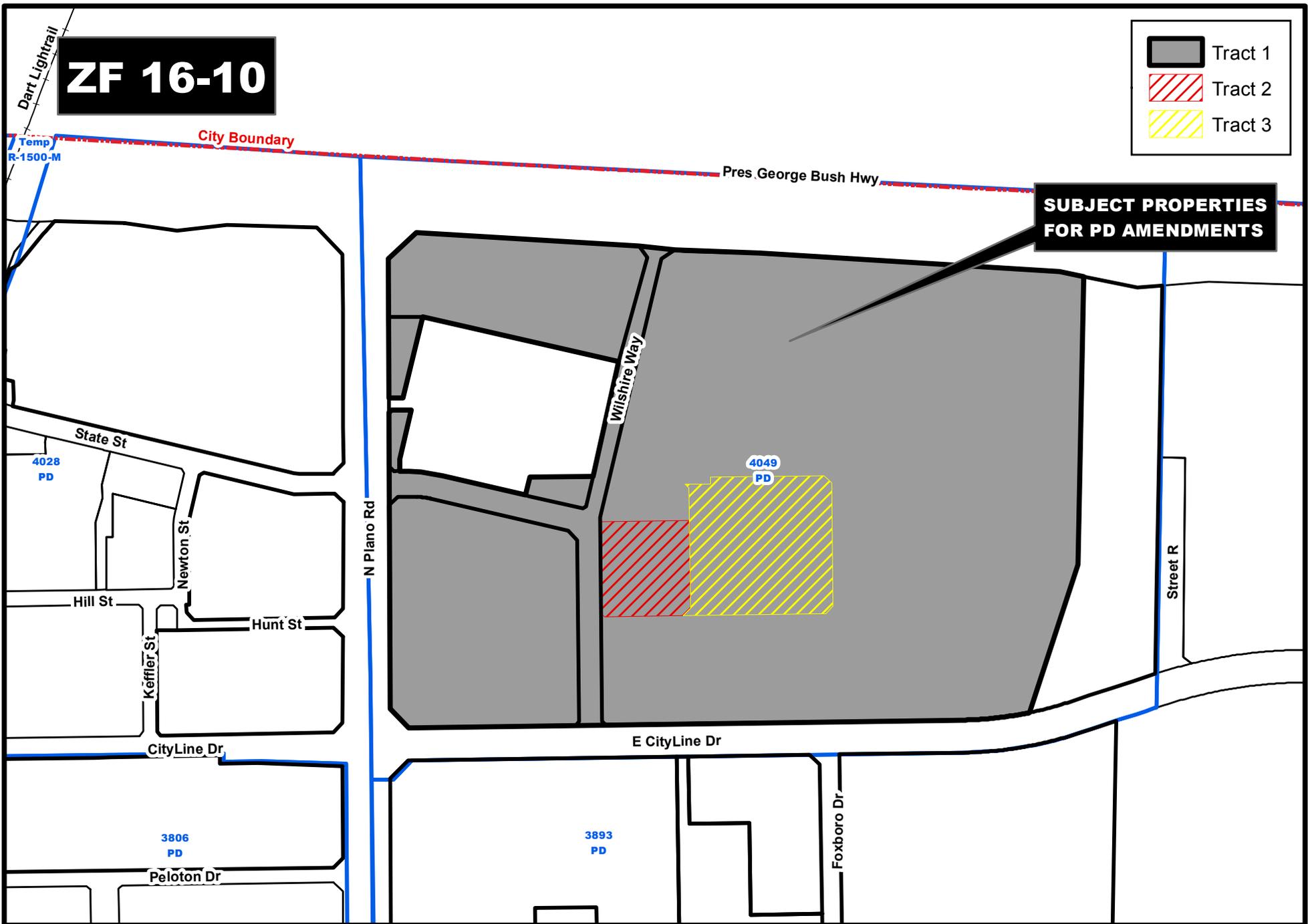
Council Hearing Date: The City Council hearing date is May 9, 2016.

ZF 16-10



Tract 1
Tract 2
Tract 3

**SUBJECT PROPERTIES
FOR PD AMENDMENTS**

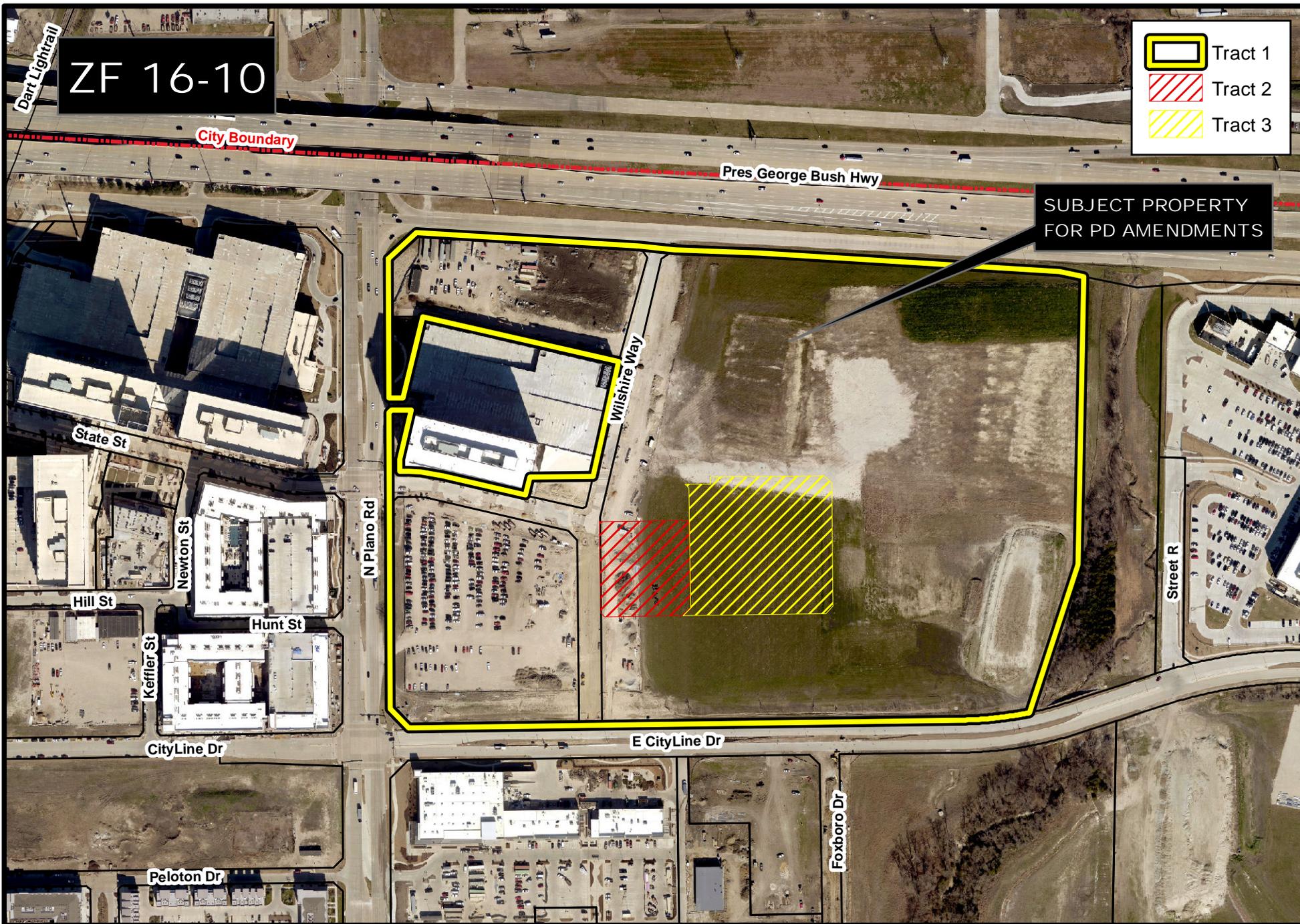


ZF 16-10 Zoning Map

Updated By: shacklett, Update Date: April 18, 2016
File: DSI\Mapping\Cases\Z\2016\ZF1610\ZF1610 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 16-10 Aerial Map

Updated By: shacklett, Update Date: April 18, 2016
 File: D:\Mapping\Cases\Z\2016\ZF1610\ZF1610 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



President George Bush Highway

Tract 1

State Street

Tract 2

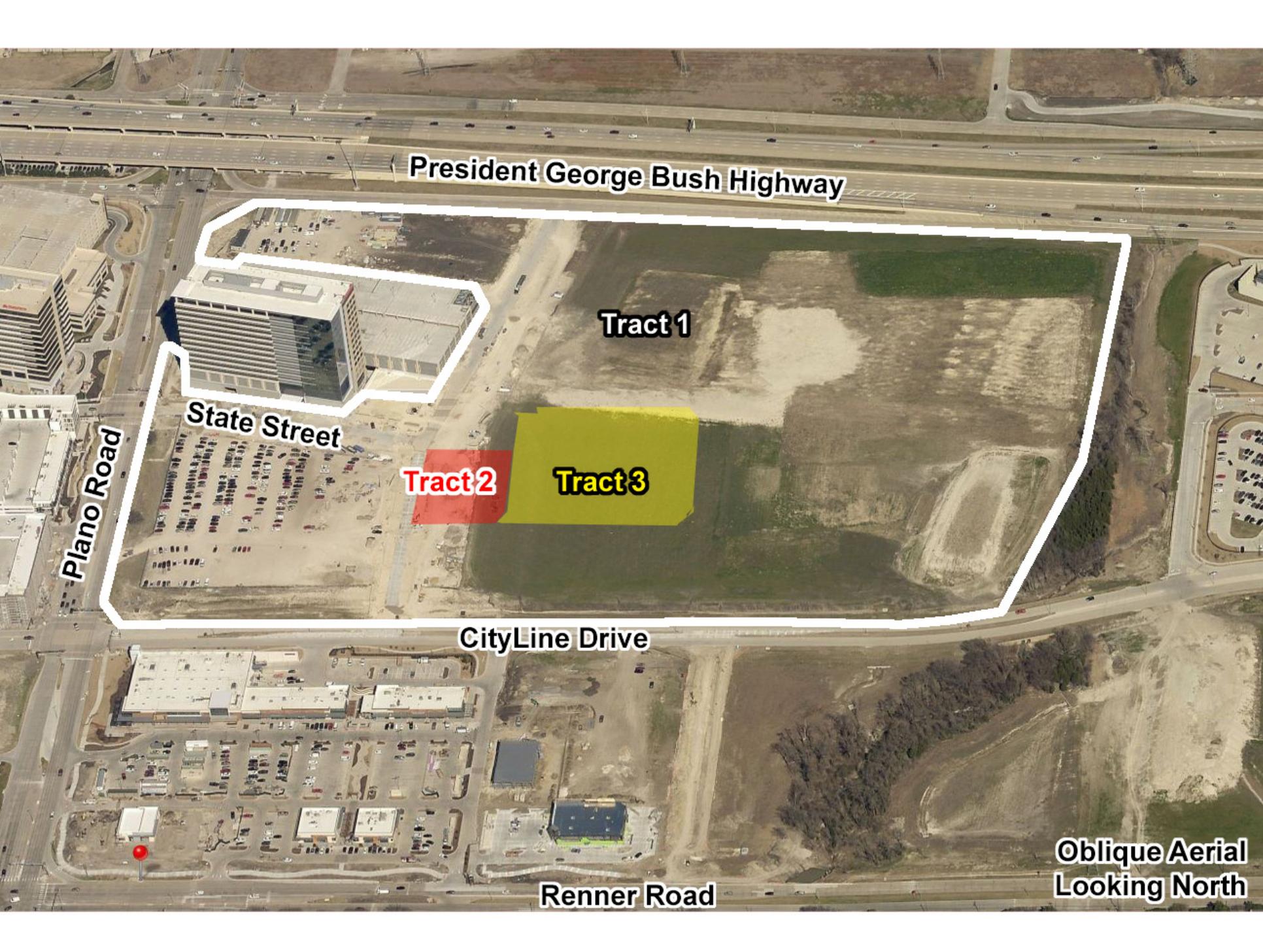
Tract 3

Plano Road

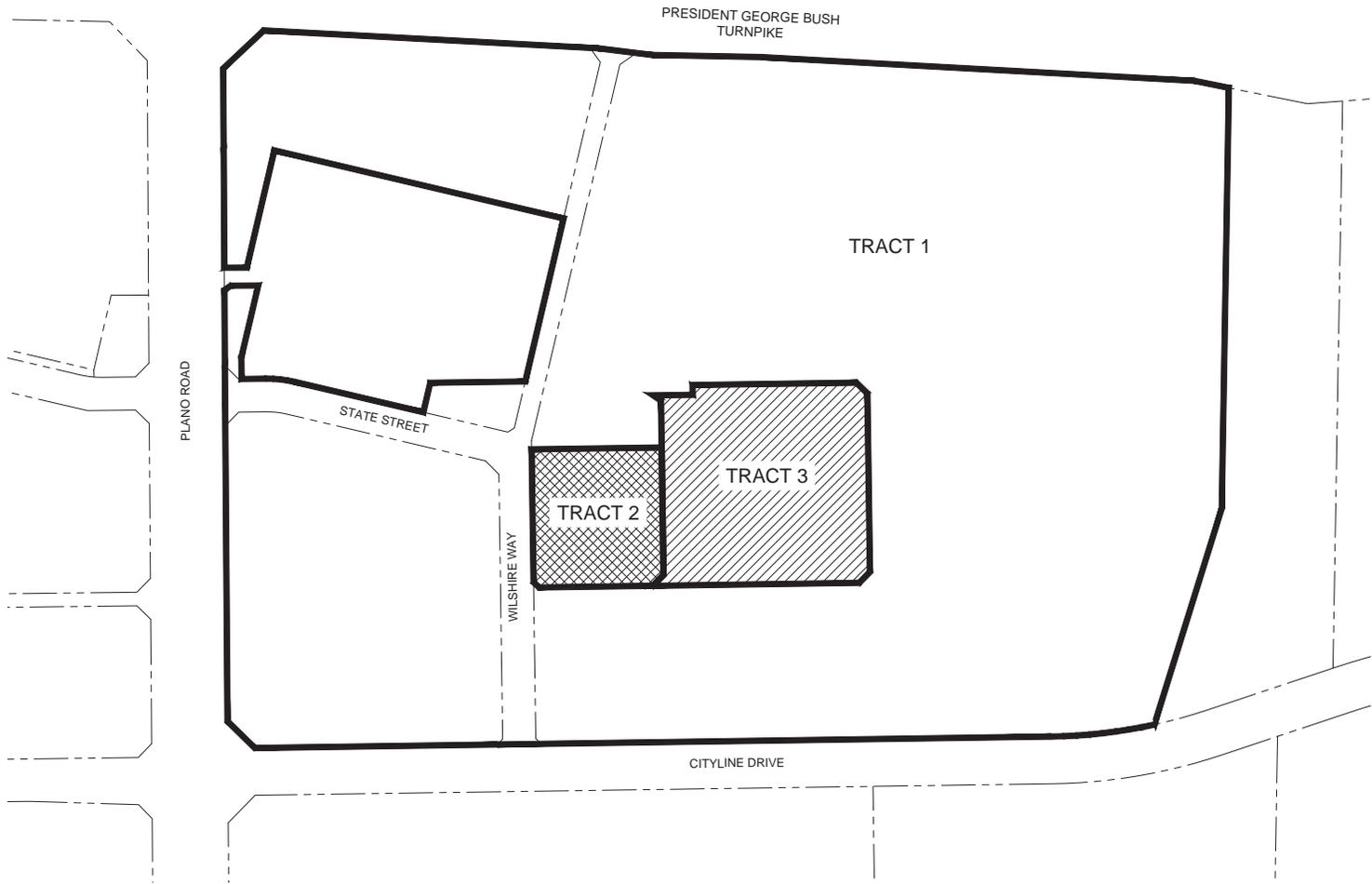
CityLine Drive

Renner Road

Oblique Aerial
Looking North



Revised by: [blank] Date: [blank] Sheet: [blank] of [blank] Total: [blank] Date: [blank] Scale: [blank] Date: [blank] Scale: [blank] Date: [blank] Scale: [blank]
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SHEET NUMBER		RICHARDSON		TEXAS		CITYLINE EAST		KIMLEY-HORN <small>© 2015 KIMLEY-HORN AND ASSOCIATES, INC. 12750 MERIT DRIVE, SUITE 1000, DALLAS, TX 75251 WWW.KIMLEY-HORN.COM TX 65287</small>		No. _____ REVISIONS No. _____ DATE _____ BY _____	
KIM PROJECT DATE: 04/26/2016 SCALE: AS SHOWN DESIGNED BY: KLV DRAWN BY: KLV CHECKED BY: B.W.		CITYLINE EAST		TEXAS		KIMLEY-HORN		No. _____ REVISIONS No. _____ DATE _____ BY _____		No. _____ REVISIONS No. _____ DATE _____ BY _____	

Exhibit B - Part of Ordinance

CityLine East Zoning Amendment

Background

In late 2012, KDC acquired 186 acres just east of the newly renamed CityLine/Bush Station and endeavored to create a new age environment to attract and retain corporate America's targeted "new millennial" employee. The market reception to what would become know as CityLine was immediate, significant, and continues to grow and create critical mass. In addition to a four-building corporate commitment of 2.1 million square feet of office and training, CityLine currently boasts:

- *Retail:* Over 170,000 square feet of leased restaurant and retail space that incorporates an array of mixed price point food offerings and includes a Whole Foods Market. Another 30,000 square feet of retail space is under construction at the base of Four CityLine,
- *Residential:* Over 900 completed apartments,
- *Hospitality:* 148 hotel rooms that are under construction,
- *Medical:* A 40,000-square-foot wellness office building including a fitness center,
- *Corporate Office:* A 489,000-square-foot corporate campus,
- *Parks:* An under construction, 3.5-acre CityLine Park.

By the end of 2017, CityLine will have:

- *Retail:* Over 220,000 square feet of restaurant and retail space,
- *Entertainment:* A 12-screen movie theater,
- *Residential:* Nearly 1,800 completed apartments and 32 private residences,
- *Hospitality:* 148 rooms and ancillary meeting space in an Aloft Hotel,
- *Medical:* A 40,000-square-foot wellness office building and fitness center,
- *Corporate Office:* A 489,000-square-foot corporate campus,
- *Parks:* A 3.5-acre CityLine Park and a 17-acre CityLine East Park.

The Requested Re-zoning

An entertainment venue is important to support the overall success of CityLine's restaurants, as it will generate important nighttime and weekend costumers for these establishments.

KDC is requesting that the current form-based zoning code on the east side of Plano Road be modified slightly for a specific property for a specific use category (Arts, Entertainment, and Recreation Uses) in order to facilitate the development of a movie theater. Specifically, due to the buildings unusually high façade and its use that necessitates predominately opaque construction materials, several exceptions are required. Namely, KDC is requesting reductions in the current minimum facade areas that contains transparent storefront, an inclusion of metal panels as masonry, and the elimination of a vertical rhythm requirement along the main western façade.

Additionally, KDC is requesting that the property directly to the east of the proposed theater site be allowed to provide an adjacent surface parking lot as its primary use, in order to meet the daytime matinee customer demand. This lot will be required to be constructed of concrete and, when directly adjacent streets are developed, final applicable street sections are required to be implemented. Parking demand for the theater will also be met with the public parking at CityLine.

Finally, in order to facilitate the ultimate development of the adjacent surface parking lot, as well as to increase the density of other CityLine developments, KDC is requesting that temporary surface parking be permitted as an allowable use on all property that it owns in the PD. Any temporary lot will be constructed using asphalt. Additionally, no single lot shall exceed 500 parking spaces, no more than three lots shall be permitted at any one time, and, once constructed, the temporary lot shall be allowed for a limited period of time.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PLANNED DEVELOPMENT

File No./Name: ZF 16-10 / CityLine East PD Amendments
Property Owner: Walt Mountford, KDC / BCS East Land Investments, LP
Applicant: Bradley Moss / Kimley-Horn and Associates, Inc.
Location: East side of Plano Road, between CityLine Drive and President George Bush Highway (See map on reverse side)
Current Zoning: PD Planned Development
Request: A request to amend a 47.9-acre portion of the 62.5-acre CityLine East PD to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for “arts, entertainment, and recreation uses”.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, MAY 3, 2016
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

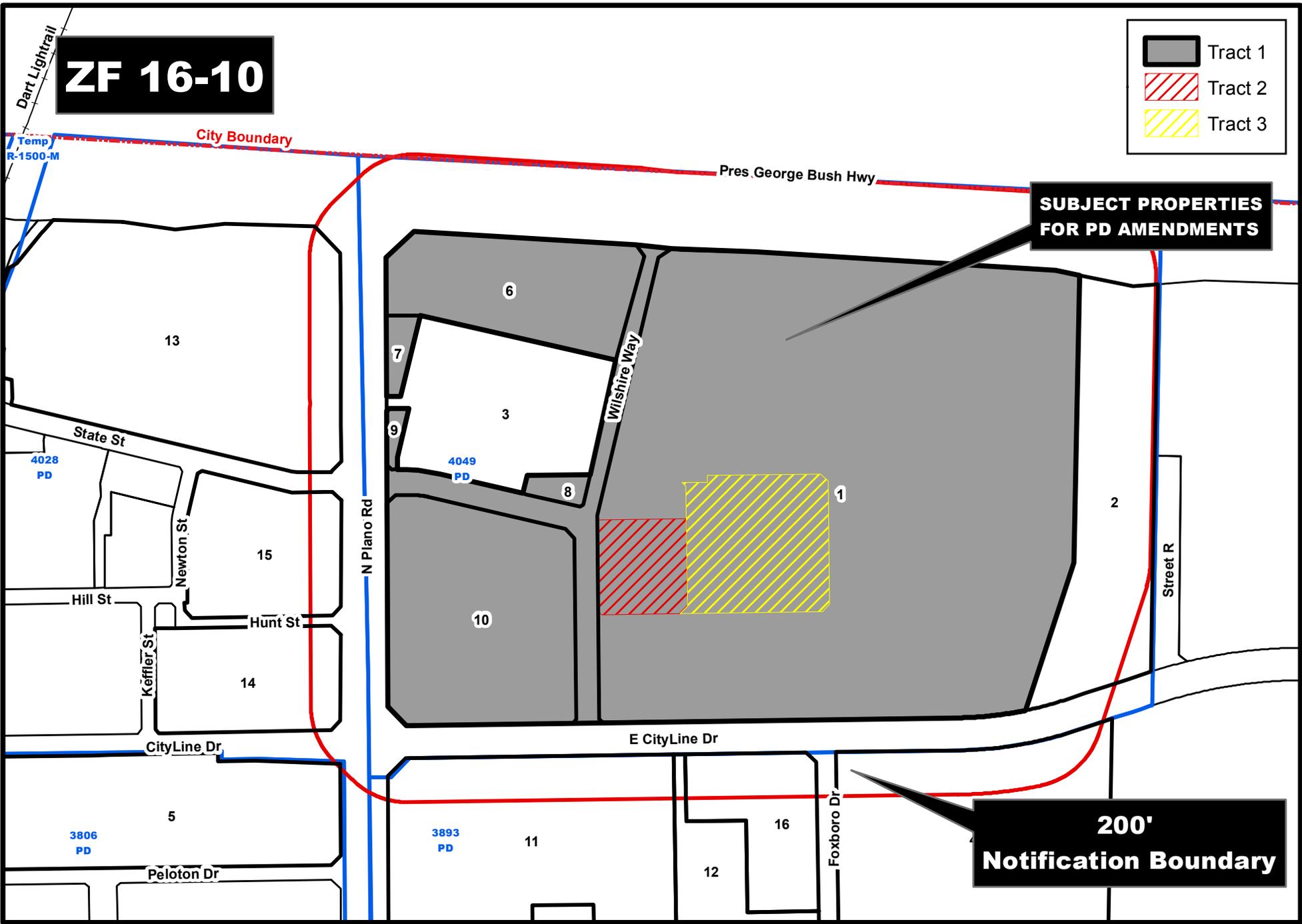
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 16-10.

Date Posted and Mailed: 04/22/2016



ZF 16-10 Notification Map

Updated By: shacklett, Update Date: April 18, 2016
 File: DSI\Mapping\Cases\Z\2016\ZF1610\ZF1610 notification with numbers.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

4-BCS EAST LAND INVESTMENTS LP
DBA GALATYN PARK NORTH
HOMEOWNERS ASSOCIATION
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

7-BCS OFFICE INVESTMENTS TWO LP
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

10-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

13-BCS OFFICE INVESTMENTS ONE LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

16-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

**CITY OF PLANO - PLANNING
DEPARTMENT
1520 K AVENUE
PO BOX 860358
PLANO, TX 75086-0358**

2-BCS EAST LAND INVESTMENTS LP
DBA GALATYN PARK NORTH
HOMEOWNERS ASSOCIATION
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

5-BCS MF II LLC
ATTN: MANAGER
8333 DOUGLAS AVE
DALLAS, TX 75225-5845

8-BCS OFFICE INVESTMENTS TWO LP
ATTN: SCOTT OZYMY
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

11-CITYLINE-REG LLC
C/O REGENCY CENTERS CORPORATION
8480 E. ORCHARD RD STE 6900
GREENWOOD VILLAGE, CO 80111-5033

14-CH REALTY VI-JLB FM RICHARDSON
STATE STREET I LP
C/O JLB REALTY LLC
3890 W NORTHWEST HWY FL 7
DALLAS, TX 75220-8108

**FACILITY PLANNING & CONSTRUCTION
ATTN: TONY PEARSON - PLANO ISD
6600 ALMA DR STE E
PLANO, TX 75023**

**KIMLEY-HORN AND ASSOCIATES
ATTN: BRADLEY MOSS
12750 MERIT DRIVE, STE 1000
DALLAS, TX 75251**

3-BCS OFFICE INVESTMENTS TWO LP
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

6-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

9-BCS OFFICE INVESTMENTS TWO LP
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

12-CITYLINE-REG LLC
C/O REGENCY CENTERS CORPORATION
8480 E. ORCHARD RD STE 6900
GREENWOOD VILLAGE, CO 80111-5033

15-CH REALTY VI-JLB FM RICHARDSON
STATE STREET I LP
C/O JLB REALTY LLC
3890 W NORTHWEST HWY FL 7
DALLAS, TX 75220-8108

**SUPERINTENDENT OF SCHOOLS
PLANO ISD
2700 W 15TH ST
PLANO, TX 75075-7524**

**BCS EAST LAND INVESTMENTS LP
ATTN: WALT MOUNTFORD
8115 PRESTON RD STE 700
DALLAS, TX 75225**

ZF 16-10

CITYLINE EAST PLANNED DEVELOPMENT DISTRICT

Exhibit B



DRAFT
APRIL 11, 2014

DEVELOPED FOR



BY
GATEWAYPLANNING
A VIALTA GROUP PARTNER

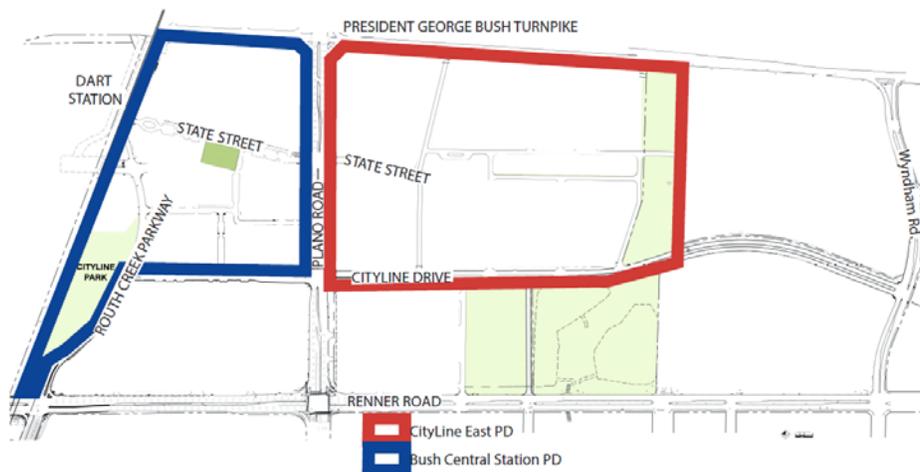
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Section 2.	Components of the Code
Section 3.	Administration
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Section 5.	Regulating Plan
Section 6.	Schedule of Permitted Uses
Section 7.	Building Form and Development Standards
Section 8.	Building Design Standards
Section 9.	Street and Streetscape Design Standards
Section 10.	Signage Standards
Section 11.	Civic Space Standards
Appendix A:	Regulating Plan
Appendix B:	Planting List
Appendix C:	Development Process Flow Chart

Section 1. Purpose and Intent:

The purpose of the CityLine East Planned Development Code, hereafter known as the CityLine East PD, is to support the expansion of the Bush Central Station eastward across Plano Road into a pedestrian-oriented, mixed-use urban development environment. It builds on the success of the Bush Central Station development with convenient access to rail transit, shopping, employment, housing, and regional retail services. The goal of the CityLine East PD is to promote the expansion of a regional employment center within an efficient, compact land use pattern; encourage pedestrian activity; reduce the reliance on private automobiles; and provide a more functional and attractive community through the use of recognized principles of urban design.

- 1.1 Economic Development – The CityLine East PD and corresponding standards are created to support economic development, sustainable tax base, and job creation by establishing adjacency predictability of private development within a flexible, market responsive framework that supports and leverages investment in and around the CityLine East PD.
- 1.2 Implement the Design Goals of the CityLine East – In conjunction with Bush Central Station PD, the objective of the CityLine East PD is to foster a major regional employment center with significant regional retail and residential uses within convenient walking distance from the existing transit station and potential transfer station to the Cotton Belt rail line. The existing transit station provides a connection to 12 member cities of Dallas Area Rapid Transit (DART) including Dallas. Development within this area would be of high intensity, accommodating large scale office and retail users while providing for moderate scale mixed use and residential within portions of the CityLine East PD (see location map below).
- 1.3 Establish Specific Development Standards – The CityLine East PD implements the vision for Bush Central Station as established in the City’s Comprehensive Plan and the CityLine East Regulating Plan, hereafter known as the Regulating Plan (Appendix A). The Regulating Plan shall provide guidance to property owners, developers, and the City on the form, character, and intensity of future development in the CityLine East. Creation of different Character Zones within CityLine East enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkable mixed use development, housing variety and transportation choice.



CityLine East Location Map

Section 2. Components of the Code:

2.1 The standards in this CityLine East PD shall apply to all CityLine East development unless otherwise specified in this Code. Development of property within the CityLine East PD shall comply with all applicable development standards set forth in this Code. The components of this CityLine East PD consist of:

2.1.1 CityLine East Regulating Plan: The CityLine East PD Regulating Plan, hereafter known as the “Regulating Plan”, is its official zoning map (Appendix A). It identifies the applicable character zones within CityLine East including:

- i. Character Zones – The CityLine East PD is divided into different “Character Zones”. A Character Zone creates a distinct urban form within that Zone which is different from urban forms in other Character Zones. Each Character Zone shall establish use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the CityLine East into one of two Character Zones.
- ii. Special Frontage Standards – The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.
- iii. Street Network, Type, and Development Frontage Designations– The Street Network within the CityLine East PD shall be generally classified by Mandatory and Non-Mandatory Streets. Mandatory Streets shall be required and shall generally meet the locational and connectivity goals of the Regulating Plan. Non-Mandatory Streets indicate the desired locations of future streets needed to implement the overall vision of the proposed development. The alignment of Non-Mandatory Streets is intended to be flexible. Street Type designations shall establish the actual cross section characteristics of the street. Appropriate Street Types are provided within Section 9 of this Code as a palette of pedestrian-oriented streets. Development Frontage designations relate to the appropriate development context by denoting them on the Regulating Plan as Required or Recommended Type ‘A’ or Type ‘B’ Frontages.
- iv. Civic/Open Space – Mandatory: Mandatory Civic/Open Space areas shown on the Regulating Plan designate the locations of proposed civic/open spaces (including parks, plazas, greens, and squares).
- v. Civic/Open Space -60% Mandatory and 40% Non-Mandatory: This Civic/Open Space designation indicates the general locations of desired civic/open space of which at least 60% of the area designated as Civic/Open Space shall be mandatory and the remainder of the designated area is optional. The optional aspect provides planning flexibility as the property is developed overtime. The combined total area of all Civic/Open Space shall be no less than 10% of the CityLine East PD.

2.1.2 Development Standards: The CityLine East PD (the text portion of this Code) enumerates the development standards with text and graphics for Character Zones, Special Frontages, building form, civic open space, landscape, building design, signage, lighting, and related standards for all streets, public and private development.

Section 3. Administration

This section sets forth the provisions for reviewing and approving development applications within the CityLine East PD. The intent is to ensure that all development is consistent with the provisions of this Code. All sections of this Code shall be applied during the review process.

3.1 The development standards under Articles XIII-A thru XVI and Article XXI-C of the City of Richardson Comprehensive Zoning Ordinance, as amended, shall not apply to the CityLine East PD except as specifically referenced herein. Development standards not addressed in this ordinance shall be governed by the City of Richardson Comprehensive Zoning Ordinance to the extent they are not in conflict with the intent or text of the CityLine East PD.

3.2 Sign Standards under Chapter 18, as amended, of the City of Richardson Code of Ordinances, shall not apply to the CityLine East PD except as specifically referenced herein.

3.3 Using this Code:

The following basic steps should be followed to determine the uses and development standards applicable on property within the CityLine East PD:

3.3.1 Locate the subject property on the Regulating Plan.

3.3.2 Identify:

- i. the Character Zone in which the property is located;
- ii. the Street Network and Type designation along all its street frontages; and,
- iii. any Special Frontage Requirements that may be applicable to the subject property.

3.3.3 Review the Schedule of Uses by Character Zone as listed in Table 6.1 to determine allowed uses.

3.3.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section 7 to determine the applicable development standards.

3.3.5 Refer to Section 5.5 for Special Frontage Standards and Section 5.6 for Civic/Open Space Standards.

3.3.6 Refer to Section 8 for Building Design Standards.

3.3.7 Refer to Section 9 for Street Type and Streetscape Standards.

The information from the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it.

3.4 Development within CityLine East PD that complies with the provisions of this Code shall follow the City's development process as outlined in Chapter 21, Article II of the City of Richardson's Code of Ordinances and shall be approved by the City Manager or designee (see Appendix C for flow chart of the review process). In addition to complying with applicable City regulations that are not in conflict with this Code, the applicant shall provide the information required to adequately show compliance with this Code.

3.5 Standard for Approval of development plans: If a development plan conforms to the standards set forth in this Code and applicable City regulations not in conflict with this Code, the development plan shall be approved. Upon request by an applicant, the authority charged with approving the development plan shall certify the reason(s) for an action taken on a development plan.

- 3.6 The City Manager or designee shall be responsible for the following:
- 3.6.1 Reviewing development plan applications for compliance with the requirements of CityLine East PD.
 - 3.6.2 Approving development plan applications that are in compliance with the requirements of the CityLine East PD.
 - 3.6.3 Making determinations on the applications and interpretations of standards in this Code.
 - 3.6.4 Approving revisions to previously approved development plans that comply with this Code and all applicable city ordinances.
 - 3.6.5 Approving any minor modifications to the approved CityLine East PD Regulating Plan and Code per Section 3.8.
 - 3.6.6 Making recommendations on any SDP applications to the City Plan Commission (CPC) and City Council.
- 3.7 Special Development Plans: A request for a modification to any of the standards of this Code other than minor modifications permitted under Sections 3.8 shall be reviewed and processed as Special Development Plans.
- 3.7.1 Special Development Plans (SDP) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan shall be processed as an amendment to the zoning ordinance under Article XXIX of the City of Richardson Zoning Ordinance and may only be considered by the City Council (CC) after the CPC has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the CPC. In evaluating an SDP, CC may consider the extent to which the application meets any of the following:
 - i. provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
 - ii. fits the adjoining context by providing appropriate transitions.

- 3.8 Minor Modifications to the CityLine East PD:
- The City Manager or designee shall have the authority to approve a request for minor modifications to CityLine East PD that:
- 3.8.1 Does not materially change the circulation and building location on the site;
 - 3.8.2 Does not increase the height beyond what is allowed under this section of the Code;
 - 3.8.3 Does not change the relationship between the buildings and the street;
 - 3.8.4 Does not allow a use not otherwise authorized in this Code;
 - 3.8.5 Does not allow reduction of any parking requirement beyond what is allowed under this section of the Code; or
 - 3.8.6 Allows changes to established street cross sections per Table 3.1 below and Section 9 of this Code.

The City Manager or designee shall also have the authority to approve minor modifications outlined in Table 3.1. Any appeals to the decisions of the City Manager on minor modifications shall be heard by the City Council. Any City Council denials of minor modifications or any changes beyond those that meet the criteria above, the thresholds established in Table 3.1, shall be processed as an amendment to this Code under Article XXIX of the City of Richardson Comprehensive Zoning Ordinance.

Table 3.1 Minor Modifications Allowed

<i>Standard</i>	<i>Minor Modification Allowed</i>	<i>Comments</i>
Area/boundary of Character Zones	No more than a 25% change (increase or decrease) in the area of any Character Zone (aggregate or per	<ul style="list-style-type: none"> • Shall not eliminate any Character Zone • 25% measurement shall be based on the total area of that specific Character Zone within the entire CityLine East PD

<i>Standard</i>	<i>Minor Modification Allowed</i>	<i>Comments</i>
	block)	
Location of a Required new Street	Location shall not move more than 150' in any direction	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Addition of new streets not shown on the Regulating Plan	New streets and additional blocks not on the regulating plan may be permitted	<ul style="list-style-type: none"> • Streets shall be selected from the palette of streets established in Section 9 of this Code and based on the development context proposed • In no case shall block faces be smaller than 200'
Building height	No more than 20% increase in the building height permitted within each character zone	<ul style="list-style-type: none"> • Allowed in both character zones
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones/ setbacks 	No more than a 20% change in the maximum or minimum setback or BTZ.	<ul style="list-style-type: none"> • Changes to the build-to-zones or setbacks may only be due to any changes to the street cross sections, change in the width of a sidewalk, or if needed to accommodate Porte-cocheres or other utility easements. • In no case shall the sidewalk be less than 6 feet in width.
<ul style="list-style-type: none"> • Development Frontage 	No more than a 15% reduction in the required development frontage along each block face of a Required Type 'A' Frontage	<ul style="list-style-type: none"> • Any reduction in the required Development Frontage shall be to accommodate Porte-cocheres for drop-off and pick-up.
<ul style="list-style-type: none"> • Development Frontage Designation 	Up to 30% of a required Type 'A' frontage may be converted to a Type 'B' Frontage along any given block face	<ul style="list-style-type: none"> • Changes to the Development Frontage designation shall be based on: <ul style="list-style-type: none"> ○ maintaining continuity of Type 'A' Frontages to the extent possible ○ addressing ground floor parking garage access and frontages along the outer blocks of the development (blocks along CityLine or PGBT access road), ○ Minimizing impact on opposite block face frontages, and maintaining a consistent streetscape along the street • Ground floor parking garage facades shall be treated consistently with the rest of the block (with respect to façade rhythm and materials) and any view of parked cars shall be architecturally screened.
<ul style="list-style-type: none"> • Required Off-Street Parking 	No more than a 20% reduction in the required off-street parking	<ul style="list-style-type: none"> • Shared parking agreements may be required between adjoining properties. • A parking demand analysis may be required based on the mix of uses being proposed.
<ul style="list-style-type: none"> • Street screen 	Waiver of Street screen requirement along a Type 'B' Frontage	<ul style="list-style-type: none"> • Requirement for a street screen may only be waived along a Type 'B' Frontage along the frontage of any interim surface parking lot (off-street) that is intended to be in-filled with a parking structure. • In no case shall any portion of the surface parking have frontage along a Required Type 'A' Frontage without a required street screen • In no case shall the (off-street) surface parking lot be located at a street intersection with a Required Type 'A' Frontage designation for a minimum depth of 30' along each street frontage.
Street Cross Sections	Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree planting	<ul style="list-style-type: none"> • Any changes in the street cross sections shall be based on creating a specific and unique development context and to address any existing vegetation, natural features, drainage, and fire access and is subject to approval by the City. • Street cross sections may allow encroachment of Porte-cocheres into the street right-of-way and parking lanes, but not within any travel lanes, subject to approval by the City.
Street Cross Sections	On-street parking configuration adjustments	<ul style="list-style-type: none"> • On-street parking may be eliminated or adjusted from angled to parallel or angled to drop-off lanes to accommodate valet drop-off and pick up and similar functions subject to a Development Plan or parking plan submitted by the applicant and subject to approval by the City.

Section 4. Definitions

In addition to Definitions in Article I of the City of Richardson Comprehensive Zoning Ordinance, the following terms shall have the corresponding interpretations.

Arcade means a portion of the building façade line is at or near the sidewalk at the ground floor and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

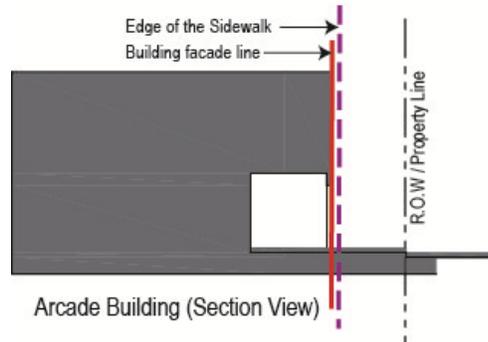


Image of an arcade or colonnade

Attics/Mezzanines means the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

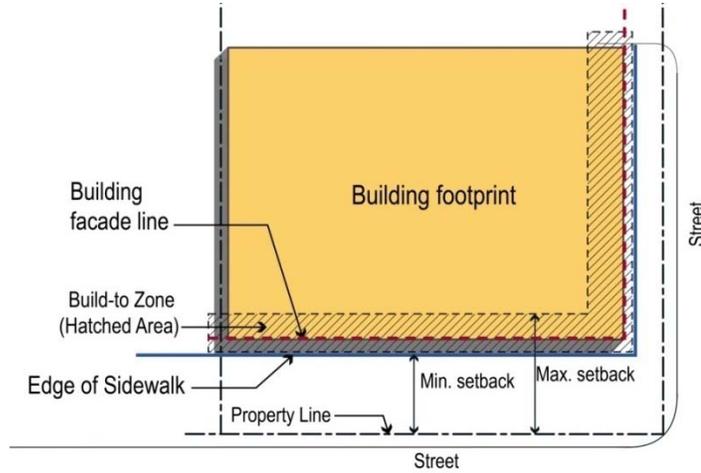
Auto-Related Sales and Service Uses means establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Block Face Dimensions means the linear dimension of a block along one of its street frontages.

Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

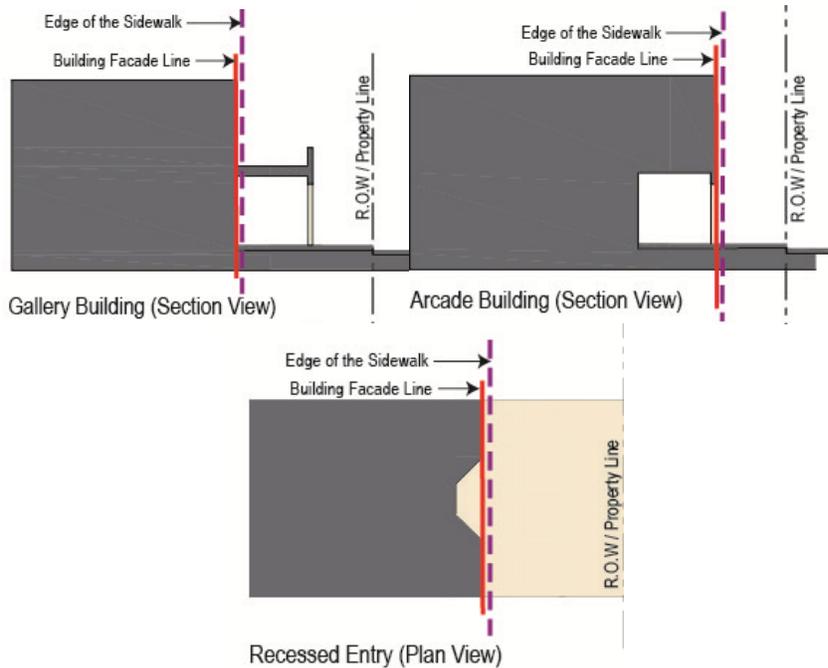
Build-to Line means the line at which the principal building's front façade at the ground floor shall be built.

Build-to Zone (BTZ) means the area within which the principal building's front façade at the ground floor is to be built.



Build-to-zone Illustration

Building Façade Line means the vertical plane along a lot where the building’s ground floor front façade is actually located.



Building Façade Line Illustrations

Building Form Standards means the standards established for each Character Zone that specify the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage means the percentage of the building’s ground floor front façade that is required to be located at the front Build-to Line or Zone as a proportion of that lot’s frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

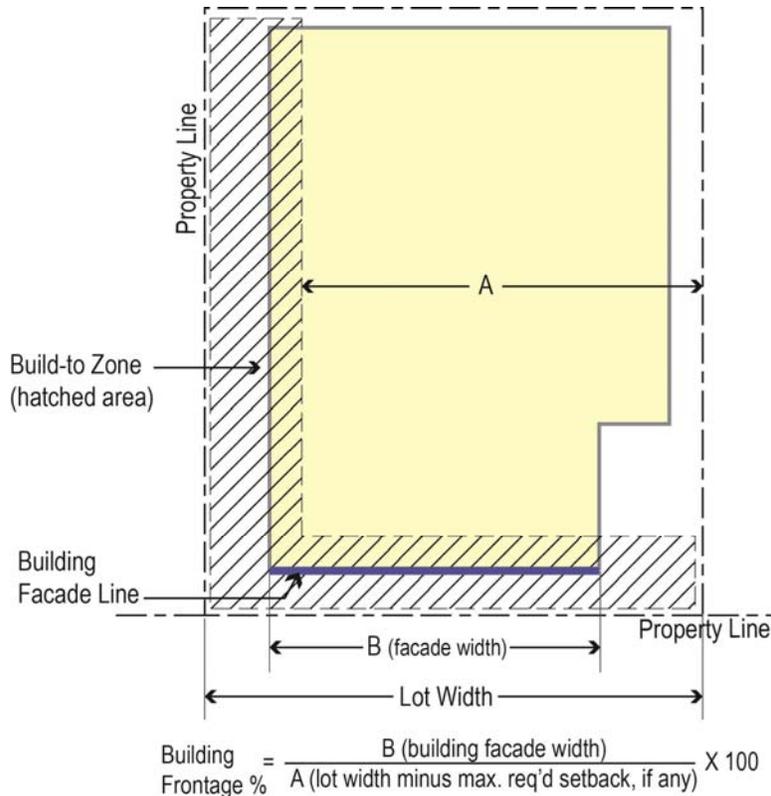


Image showing how a lot's building frontage is calculated.

Character Zone means an area within the CityLine East PD that creates a distinct urban form different from other areas within the CityLine East PD. Character Zones are identified in the Regulating Plan.

City Manager means the City Manager of the City of Richardson or his/her designee.

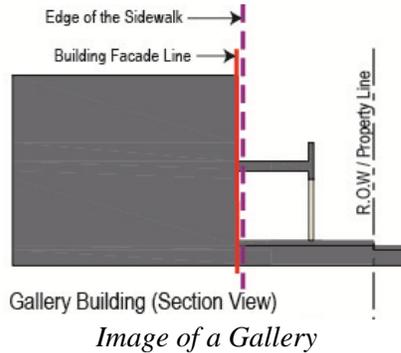
Civic/Open Space means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, linear greens, pocket parks, playgrounds, etc. Section 11 establishes a palette of appropriate civic/open space types within the CityLine East PD. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of this ordinance. Building façades facing a Civic/Open Space shall be treated as a Type 'A' Frontage. Kiosks are permitted within any of the Civic/Open Spaces below. Permanent Kiosks may occupy no more than 10% of the area of any Civic/Open Space nor shall the size of each kiosk be larger than 2,500 sq.ft. The design and quality of permanent kiosks shall be consistent with the overall development character of CityLine East development (refer to the images under the definition of Kiosks for appropriate character and design).

Comprehensive Plan means the City of Richardson Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City as adopted on the effective date of this Code.

Development Plan means any submittal as defined by Chapter 21, Article II of the City of Richardson's Code of Ordinances.

Encroachment means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R.O.W, or above a height limit.

Gallery means an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.



Kiosk means a small temporary or permanent structure often open on one or more sides used for retail sales or food service in civic/open spaces.



Images of appropriate permanent kiosk structures for food or retail sales and service

Live-Work Unit means a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Screen means a Street Screen composed of landscaping in the form of vegetation.

Main Street Frontage means a special frontage requirement along identified Required Type ‘A’ Frontages as indicated in the Regulating Plan.

Mandatory New Street means a required new street to meet the street network standards as established in the Regulating Plan.

Master Sign Plan means a unique sign plan to implement a specific vision for a portion or all of the development that meets Section 10.2 of this Code.

Minor Modification means any changes to the CityLine East PD that meet the threshold criteria established in Section 3.8 and Table 3.1.

Non-Mandatory New Street means an optional new street intended to meet the street network as established in the Regulating Plan. A Non-Mandatory New Street may be at the option of the developer.

Optional Transitional Campus Frontage means a special frontage requirement that may be applied as indicated in the Regulating Plan. The images included in this section are only illustrative of some of the screening options that are to be employed along the Optional Transitional Campus Frontage.



Illustrative Images for treatment options along the Optional Transitional Campus Frontage

Pedestrian Easement means a grant of use of private property for pedestrian access and use.

Recommended Type 'A' Frontage means the development frontages identified as such on the Regulating Plan. Recommended Type 'A' Frontage designations are intended to be the primary pedestrian-oriented streets and development along Type 'A' Frontages are intended to be held to the highest standard of pedestrian-oriented design. At least one block-face of each block within the CityLine East PD shall be developed to meet the Type 'A' Development Frontage requirement in that Character Zone (see standards in Section 5.3).

Required Type 'A' Frontage means the development frontages identified as such on the Regulating Plan. Required Type 'A' Frontage designations are the primary pedestrian streets and

development along Required Type 'A' Frontages shall be held to the highest standard of pedestrian-oriented design with respect to continuous development frontage, limitation of parking uses on the ground floor, and ground floor façade treatment.

Regulating Plan means the Zoning Map attached hereto as Appendix A that shows the Character Zones, Street Designations, Civic Spaces, location of Special Frontages, Streets, and other Special Requirements applicable to the CityLine East PD subject to the standards in this Code. For the purposes of this Code, the Regulating Plan shall also be the Concept Plan for the CityLine East PD.

Residential Loft means a residential unit that is built to commercial standards and adapted for residential uses.

Retail Sales Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Service Uses means a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Special Development Plan means a development application that meets Section 3.7 of this Code.

Special Frontage Requirements means standards applied to certain blocks as indicated in the Regulating Plan in order to address specific requirements and transitions based on street frontage and adjacency in addition to the underlying Character Zone standards.

Street Screen means a freestanding wall or living screen built along the BTZ or in line with the building façade line or immediately behind the pedestrian easement along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Type means a specific cross section for permitted streets in CityLine East that establishes a certain character to improve walkability within the CityLine East PD.

Street Network means the network for new and existing streets within the CityLine East PD as established in the Regulating Plan. Street segments within the overall street network may be designated as Mandatory or Non-Mandatory.

Tree Well means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.



Example of a tree well with a tree grate



Example of a tree well with landscaping

Type 'B' Frontage means the frontages identified as such on the Regulating Plan. Type 'B' Development Frontages are intended to primarily accommodate access to parking, service, and other auto-related functions.

Section 5. The Regulating Plan

- 5.1 The Regulating Plan (Appendix A) is hereby adopted as the official zoning map for the CityLine East PD.
- 5.2 Character Zones Established – the following Character Zones are established. The boundaries of the specific Character Zones shall be established in the Regulating Plan.
- 5.2.1 TOD Core: The TOD Core provides the most opportunity for the highest intensity development. It is the area that has significant development impact and the highest pedestrian activity due to the mix of uses and intensity. The TOD Core consists of the highest density and height, with the greatest variety of uses. Development within the TOD Core Zone shall meet the Building Form and Development Standards in Section 7.1 of this Code.
- 5.2.2 TOD Mixed Use: The TOD Mixed Use is the area adjacent to the TOD Core that is intended for high intensity commercial and residential uses in addition to supporting retail and restaurant uses. Development within the TOD Mixed Use Zone shall meet the Building Form and Development Standards in Section 7.2 of this Code.
- 5.3 Development Frontage Designations Established – The Regulating Plan shall establish the following Development Frontage Designations.
- 5.3.1 Required Type ‘A’ Frontages Established – Required Type ‘A’ Frontages shall be the primary pedestrian streets and development along Type ‘A’ Frontages shall be held to the highest standard of pedestrian-oriented design. Required Type ‘A’ Frontages are as identified in the Regulating Plan.
- 5.3.2 Recommended Type ‘A’ Frontages Established – Recommended Type ‘A’ Frontages indicate the desired development frontages along primary pedestrian streets and buildings along these frontages are intended to be held to the highest standard of pedestrian-oriented design. Recommended Type ‘A’ Frontages are as identified in the Regulating Plan. A minimum of one block face per each block shall be required to be developed to meet the standards of Required Type ‘A’ Development Frontage and the Type ‘A’ Development Frontage shall be maintained on both sides of the street. Maintaining continuity of adjacent street or block face Type ‘A’ frontages shall inform the selection of the specific block face to be converted to Required Type ‘A’ Frontage.
- 5.3.3 Type ‘B’ Frontages Established – Type ‘B’ Frontages are intended to balance pedestrian orientation with automobile orientation. Development along Type ‘B’ Frontages may be permitted to accommodate some service and auto-related functions including parking. The Type ‘B’ Frontages are as identified in the Regulating Plan. Type ‘B’ Frontages may be converted to Type ‘A’ Frontages at the time of development plan.
- 5.4 Street Network and Street Type Standards – The Street Network indicates the location of Mandatory and Non-Mandatory new streets needed to implement the CityLine East PD Regulating Plan. All new streets in the CityLine East shall be chosen from the palette established in Section 9 based on the development context and design criteria established in Section 9. Per Section 3.8 and Table 3.1, additional new streets may be added within the CityLine East PD.
- 5.5 Special Frontage Requirements – In order to address specific requirements and transitions based on street frontage and adjacency, the following Special Frontages have been established per the Regulating Plan:

- 5.5.1 Main Street Frontage: Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by parking uses, residential units, and/or lodging rooms in hotels to a minimum depth of 30 feet as measured from the front building line.
- 5.5.2 Optional Transitional Campus Frontage: Buildings with this frontage may be developed to the alternative development and frontage standards established in Section 7.1.3 and 7.2.3 upon selection by the developer.
- 5.6 Civic/Open Space – The Regulating Plan indicates Mandatory and 60% Mandatory/40% Non-Mandatory Civic/Open Spaces. The specific standards for Civic/Open Space are established in Section 11. Mandatory Civic/Open Space designation indicates locations where all the area shown as Mandatory Civic/Open Space shall be required. The 60% Mandatory/40% Non-Mandatory designation indicates the general locations of desired civic/open space of which at least 60% of the area designated as such shall be mandatory and the remainder of the designated area is optional. The area shall be based on the cumulative area designated in the Regulating Plan as 60% Mandatory/40% Non-Mandatory over the entire PD. The optional aspect provides planning flexibility as the property is developed over time.
- 5.7 Terminated Vistas –Buildings which are located on axis with a terminating street (as indicated on the Regulating Plan) or at the intersection of streets shall be considered as feature buildings. Buildings with features that take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line. Buildings at a terminated vista shall not include a blank wall, service areas, or parking uses on the ground floor to a minimum depth of 30 feet from the building façade line.

Section 6. Schedule of Permitted Uses

6.1 Generally: Due to the emphasis on urban form over land uses in this PD, general use categories have been identified by character zones. Uses not listed in the following schedule, but are substantially similar, may be permitted upon the approval of the City Manager or designee, subject to appeal directly to the City Council.

6.2 Schedule of Uses:

Table 6.1

	Character Zone	TOD Core	TOD Mixed Use
Land Use			
Commercial Uses (Office, Retail, Sales & Service Uses)			
Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances). Excluded from this category are Auto-Retail Sales and Service Uses (see Section 4 of the Code for Definition of Retail, Service uses, and Auto-related Sales and Service)		P	P
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>		P	P
Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc.		P	P
Research laboratory headquarters, laboratories and associated facilities		P	P
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u> Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances.		P	P
Any use with a drive through facility		P/C	P/C
Auto-related Sales and Service		NP	NP
Arts, Entertainment, and Recreation Uses			
Art galleries		P	P
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)		P	P
Games arcade establishments		P	P
Theater, cinema, dance, music or other entertainment establishment		P	P
Museums and other special purpose recreational institutions		P	P
Fitness, recreational sports, gym, or athletic club		P	P
Parks, greens, plazas, squares, and playgrounds		P	P
Educational, Public Administration, Health Care and Other Institutional Uses			
Business associations and professional membership organizations		P	P
Child day care and preschools		P	P
Schools, libraries, and community halls		P	P
Universities and Colleges		P/C	P/C
Hospital		P	P
Civic uses		P	P
Social and fraternal organizations		P	P
Social services and philanthropic organizations		P	P
Religious Institutions		P	P
Funeral homes		P	P
Residential Uses			
Home Occupations		P/A	P/A
Multi-family residential			
Ground Floor		P/C	P
Upper Floors		P	P
Residential Lofts		P	P
Live-work unit		P	P
One- and two-story multi-family residential		NP	NP

Character Zone	TOD Core	TOD Mixed Use
Other Uses		
Model homes for sales and promotion**	P	P
Hotels, full-service	P	P
Hotels, limited service and suite hotels	P/SUP	P/SUP
Parking, surface (primary use of property)	NP	NP
Parking, surface (accessory use of property)	P	P
Parking, structured	P	P
Sales from kiosks	P	P
Veterinary clinic	NP	P
Community garden	P	P
Incidental Outdoor Display (subject to standards in Section 7 of the Code)	P/A	P/A
Antennas including cell, accessory, and mounted on top of buildings.	P/A/C	P/A/C
Wind energy equipment	P/A	P/A
Solar energy equipment	P/A	P/A
Special Event	P	P
Rain harvesting equipment	P/A/C	P/A/C
Utility equipment (includes electrical transformers, gas meters, etc)	P/A/C	P/A/C

** Model homes are limited to a time period until all the homes are sold in the neighborhood.

P= Permitted by right NP= Not Permitted P/C= Permitted with design criteria per Table 6.2 P/A = Permitted Accessory Use NA= Not applicable
 A = Accessory use to not exceed 25% of the primary use building square footage P/SUP = Permitted with a Special Permit (standards in the City of Richardson Comprehensive Zoning Ordinance shall apply)

6.3 Use Criteria: All uses listed as P/C in Table 6.1 shall also meet the following standards in Table 6.2

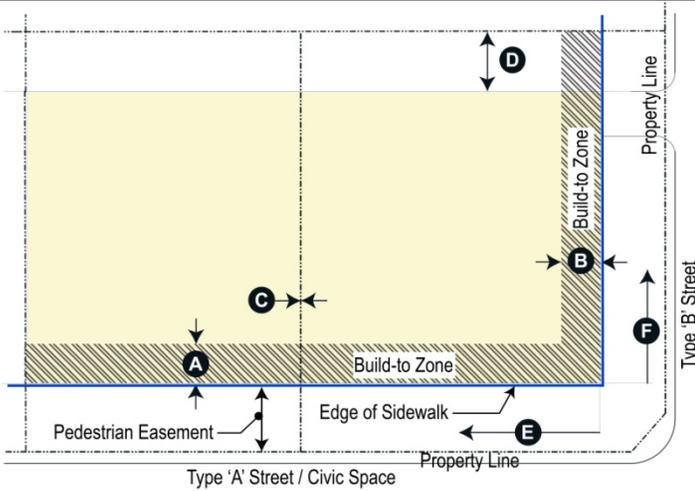
Use	Zone	Location & Design Criteria
Non-Residential Uses		
Any permitted use with a drive through facility	TOD Core, TOD Mixed Use	<ul style="list-style-type: none"> All drive through access (driveways) shall be from Type 'B' Frontages. Drive through lanes and/or canopies shall not have frontage along on or be located along any Type 'A' Frontage designation. Drive through areas screened by a 4' high Street Screen.
Universities and Colleges	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> Shall be required to provide structured parking as part of the build-out for the university/college campus
Residential Uses		
Multi-family residential Ground Floor	TOD Core	<ul style="list-style-type: none"> Ground floors may be occupied by residential uses unless designated as Main Street Frontage. Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by parking uses, residential units, or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
Other Uses		
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> Antennas shall be permitted on rooftops. Antennas shall be screened entirely with a screen of same color as the principal building. Antennas shall not be visible from any adjacent Type 'A' Frontage.
Rain water harvesting equipment	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> Rain water harvesting equipment may not be installed along Type 'A' Frontage. On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Utility equipment (includes electrical transformers, gas meters, etc)	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> On all frontages, utility equipment shall be screened with a Street Screen at least as high as the equipment being screened. On Type 'A' Frontages, utility equipment shall also be recessed into the building.

Section 7. Building Form and Development Standards

The following section establishes the Building Form and Development Standards for the two Character Zones within the CityLine East PD. Diagrams and reference letters are used for illustrations purposes only. Reference letters may not be in continuous sequence.

7.1 TOD Core Zone

7.1.1 Building Placement



Legend



Build-To Zone (BTZ)

(Distance from edge of sidewalk to edge of the BTZ) (see #12)

Front (Type 'A' and Civic Space Frontage) (unless the Optional Transitional Campus Frontage in 7.1.3 is chosen)	0 – 10 feet	A
Front (Type 'B' Frontage except PGBT Frontage Road)	0 – 10 feet (see #1)	B
Front (PGBT Frontage Road)	10' min. setback; no max. setback	

Setback

Side (from property line)	0 feet (see #2)	C
Rear (from property line)	5 feet	D

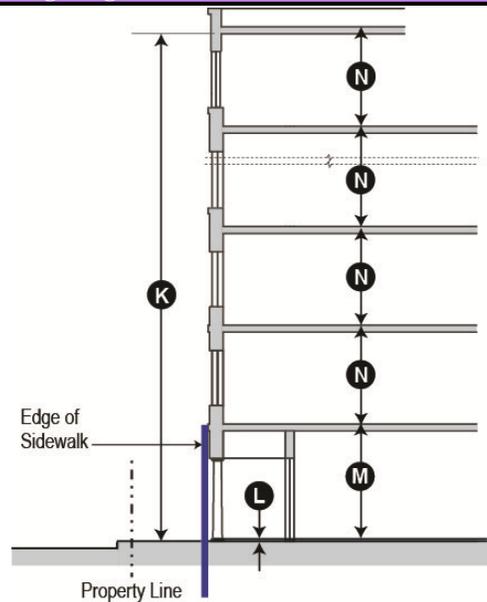
Building Frontage

Building Frontage required along Type 'A' Frontage /civic space BTZ	90% (min.) (see #3 and #6)	E
Building Frontage required along Type 'B' Frontage BTZ	None required unless along a corner lot with Type 'A' Frontage also (see #3 and #6)	F

Notes

- #1 – The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street facades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards. This standard shall apply to any street intersection with a Type 'A' Frontage (even if the cross street has a Type 'B' Frontage designation).

7.1.2 Building Height



Principal Building Standards

Building maximum	350 feet (see #7)	K
First floor to floor height	15 feet (min.) (with Main Street Frontage designation) 10' min (for all other frontages) (see #4)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floors of Main Street Frontage buildings)	L
Upper floor(s) height (floor-to-ceiling)	10 feet min.	N

7.1.3 Special Frontage Requirements

Requirements Specific to Main Street Frontage

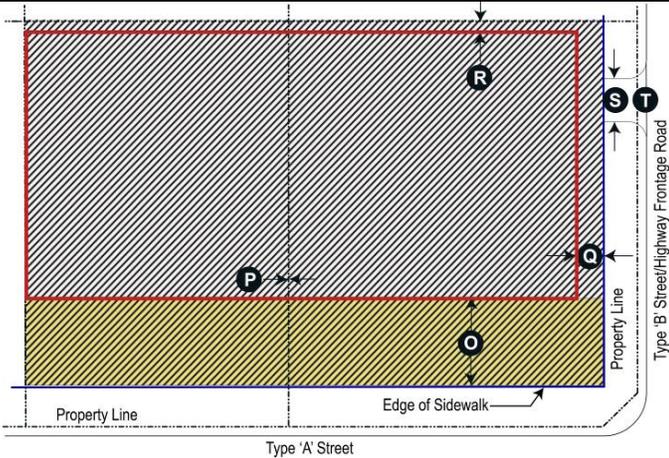
Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan:

- shall not be occupied by parking uses, residential units, or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
- shall be built to commercial standards which include minimum first floor-to-floor height, ingress and egress and handicap access.

Requirements Specific to Optional Transitional Campus Frontage

- If Optional Frontage is chosen, buildings along this frontage shall be limited to 225' in building height (minor modification allowing a 20% increase in height may be permitted)
- Buildings may be setback a maximum of 100' as measured from the edge of the sidewalk along that frontage
- Surface parking for visitors may be permitted within this setback area but shall be limited to 70% of the setback area. Any surface parking frontage shall be screened along the sidewalk/pedestrian easement to help better define a street wall along the sidewalk and to provide for streetscape and screening of vehicles. Such treatments may include any combination of the following treatments (appropriate images are included in Definitions section under Optional Transitional Campus Frontage):
 - A 6' high vegetative screen along any surface parking lot frontage.
 - Use of free standing vertical structural elements such as colonnades, pergolas or other similar features
 - Use of a double alee of canopy trees along the surface parking lot frontage spaced at 40' on center
 - Use of specialty paving, patterns, or textures for a portion of the surface parking lot
- Development along this frontage shall be exempt from the Building Frontage requirement along this frontage.

7.1.4 Parking & Service Access



Legend

Property Line	Building Footprint
Surface Parking Area	Above Grade Parking Area

(i) Parking Location

Surface/At Grade Parking

Type 'A' Frontage and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Frontage setback	Min. of 3 feet behind the building facade line along that street or 6' behind the edge of the sidewalk along that frontage	Q
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R

Above Grade Parking

Setback along Type 'A' Frontage, Type 'B' Frontage and Civic Space (distance from edge of the sidewalk)	0 feet min.	O
Side and rear setbacks (distance from property line)	0 feet min.	

Upper Floors May be built up to the building line

(ii) Required Off-Street Parking Spaces (see #10 and #11)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit
Hotel/Lodging uses	1 space per hotel room or suite

(iii) Driveways and Service Access

Parking driveway width	30 feet max. (except when drives may need to be wider to address service access or fire lane standards)	S
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No more than one driveway per 400 feet of block frontage shall be permitted on a Type 'A' Frontage
Off-street loading and unloading docks shall not be located on a Type 'A' Frontage.
Porte cocheres may be permitted on Type 'A' Frontage to provide drop-off and valet service.

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

7.1.5 Encroachments

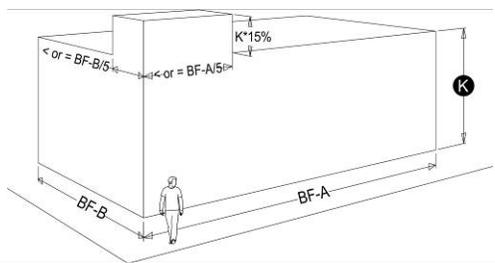
Canopies, signs, awnings and balconies may encroach over the sidewalk or build-to-zone area as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.1.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

- #4 – First floor heights shall not apply to parking structures.
- #5 – All buildings in the TOD Core Zone shall meet the Building Design Standards in Section 8.
- #6– Any frontage along all streets (except alleys) defined by surface parking shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the CityLine East Planting List in Appendix B of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage or immediately behind the pedestrian easement.
- #7– Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade. This allowance applies only if no Minor Modification for additional height has been approved for the building.



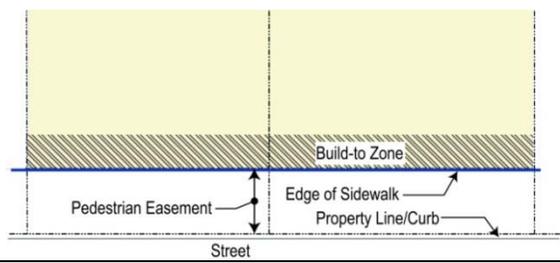
#8- Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9– Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line (see definition for details). In no case shall the depth of the arcade or colonnade be more than twice the width of the sidewalk (pedestrian easement width as established in the street cross sections in Section 9 of this Code) in front of the building.

#10– Required parking may be provided anywhere within the CityLine East PD.

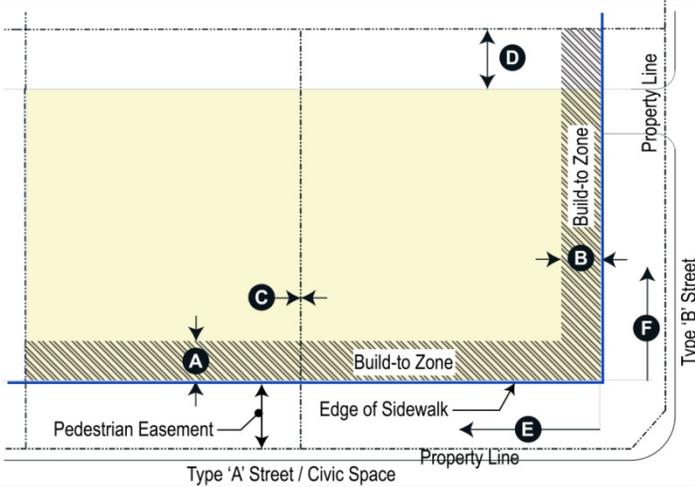
#11– Article III, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

#12 – Note about measuring build-to-zones and setbacks: Build-to-zones and setbacks shall be measured from the edge of the sidewalk closest to the building. This standard shall not apply if outdoor café seating, patios, forecourts, or other amenities that activate the sidewalk are incorporated between the building façade and sidewalk. Existing utility easements may also require measuring of build-to-zones and setbacks from such easements.

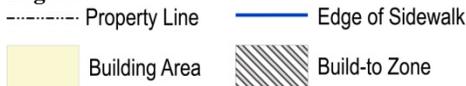


7.2 TOD Mixed Use Zone

7.2.1 Building Placement



Legend



Build-To Zone (BTZ)

(Distance from edge of the sidewalk to edge of the BTZ) (see #12)

Front (Type 'A' and Civic Space Frontage) (unless the Optional Transitional Campus Frontage in 7.2.3 is chosen)	0- 10 feet	A
Front (Type 'B' Frontage)	0 - 10 feet (see #1)	B

Setback

Side (distance from property line)	0 feet(see #2)	C
Rear (distance from property line)	0 feet (see #2)	

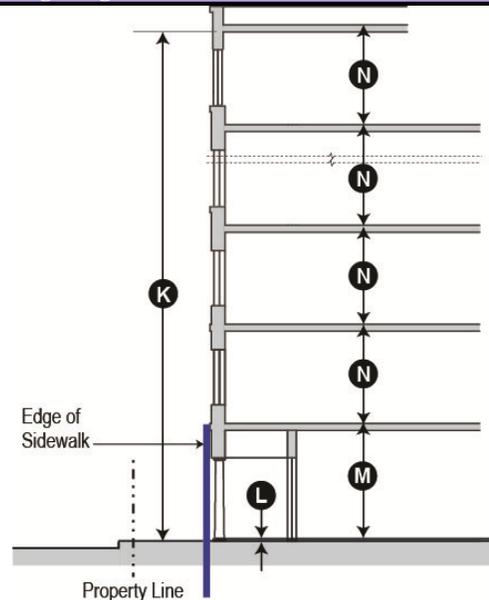
Building Frontage

Building Frontage required along Type 'A' Frontage/civic space BTZ	80% (min.) (see #3 and #6)	E
Building Frontage required along Type 'B' Frontage BTZ	None required unless along a corner lot with Type 'A' Frontage also (see #3 and #6)	F

Notes

- #1 - The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 - Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 - Corner building street facades shall be built to the BTZ for a minimum of 30 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards. This standard shall apply to any street intersection with a Type 'A' frontage (even if the cross street has a Type 'B' Frontage designation).

7.2.2 Building Height



Principal Building Standards

Building maximum	225 feet (see #7)	K
First floor to floor height	15 feet min. (buildings with Main Street Frontage designation) 10' min. (for all other frontages) (see #4)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floors of Main Street Frontage buildings)	L
Upper floor(s) height (floor-to-ceiling)	10 feet min.	N

7.2.3 Special Frontage Requirements

Requirements Specific to Main Street Frontage

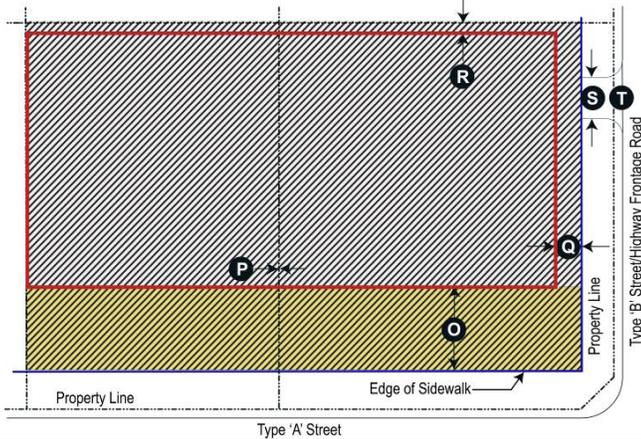
Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan:

- shall not be occupied by parking uses, residential units or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
- shall be built to commercial standards which include minimum first floor-to-floor height, ingress and egress and handicap access.

Requirements Specific to Optional Transitional Campus Frontage

- Building may be setback a maximum of 100' as measured from the edge of the sidewalk along that frontage
- Surface parking for visitors may be permitted within this setback area but shall be limited to 70% of the setback area. Any surface parking frontage shall be screened along the sidewalk/pedestrian easement to help better define a street wall along the sidewalk and to provide for streetscape and screening of vehicles. Such treatments may include any combination of the following treatments (appropriate images are included in Definitions section under Optional Transitional Campus Frontage):
 - A 6' high vegetative screen along any surface parking lot frontage.
 - Use of free standing vertical structural elements such as colonnades, pergolas or other similar features
 - Use of a double ale of canopy trees along the surface parking lot frontage spaced at 40' on center
- Use of specialty paving, patterns, or textures for a portion of the surface parking lot Development along this frontage shall be exempt from the Building Frontage requirement along this frontage.

7.2.4 Parking & Service Access



Legend

- Property Line
- Building Footprint
- Surface Parking Area
- Above Grade Parking Area

(i) Parking Location

Surface/At Grade Parking

Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line along that street or 6' behind the edge of the sidewalk along that street (if no building along that street frontage)	Q
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R

Above Grade Parking

Setback along all Type 'A' Streets, Type 'B' Street and Civic Space (distance from edge of the sidewalk)	0 feet min.	O
Side and rear setbacks (distance from property line)	0 feet min.	
Upper Floors	May be built up to the building line	

(ii) Required Off-Street Parking Spaces(see #10 and #11)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit
Hotel/Lodging uses	1 space/room or suite

(iii) Driveways and Service Access

Parking Driveway	24feet max. (except when drives may need to be wider to address service access or fire lane standards)	S
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No more than one driveway per 400 feet of block frontage shall be permitted on a Type 'A' Frontage
Off-street loading and unloading docks shall not be located on Type 'A' Frontages.
Porte cocheres may be permitted on Type 'A' Frontages to provide drop-off and valet service.
Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

7.2.5 Encroachments

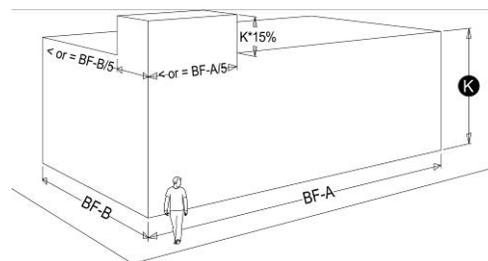
Canopies, signs, awnings and balconies may encroach over the sidewalk or build-to-zone area as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.2.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

- #4- First floor heights shall not apply to parking structures.
- #5- All buildings in the TOD Mixed Use Zone shall meet the Building Design Standards in Section 8.
- #6- Any frontage along all streets (except alleys) defined by surface parking shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the CityLine East Planting List in Appendix B of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage or immediately behind the pedestrian easement.
- #7- Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade. This allowance applies only if no Minor Modification for additional height has been approved for the building.



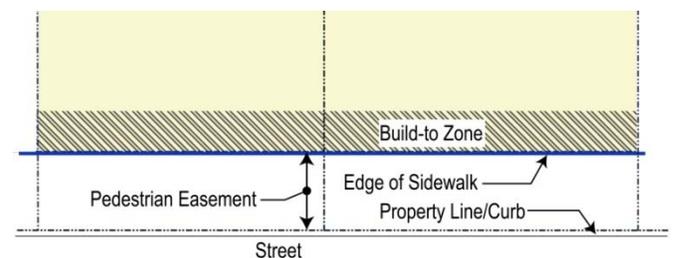
#8- Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9- Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line (see definition for details). In no case shall the depth of the arcade or colonnade be more than twice the width of the sidewalk (pedestrian easement width as established in the street cross sections in Section 9 of this Code) in front of the building.

#10- Required parking may be provided anywhere within the CityLine East PD.

#11- Article III, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

#12 - Note about measuring build-to-zones and setbacks: Build-to-zones and setbacks shall be measured from the edge of the sidewalk closest to the building. This standard shall not apply if outdoor café seating, patios, forecourts, or other amenities that activate the sidewalk are incorporated between the building façade and sidewalk. Existing utility easements may also require measuring of build-to-zones and setbacks from such easements.



Section 8. Building Design Standards

The Building Design Standards and Guidelines for the CityLine East PD shall establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.

The key design principles establish essential goals for development in the CityLine East PD to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- i. Buildings shall be oriented towards Type 'A' Frontages, where the lot has frontage along Type 'A' Frontage designation. All other buildings shall be oriented towards Type 'A', Type 'B' frontages or Civic Spaces.
- ii. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- iii. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

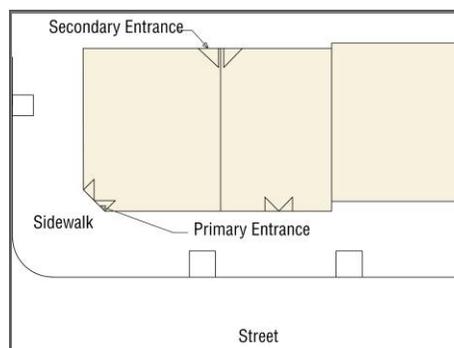


Figure showing required building orientation and location of primary entrances

8.1.2 Design of Parking Structures

- i. All frontages of parking structures located on Type 'A' Frontages shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type 'A' frontage. If the frontage is along a designated Main Street Frontage, then the Main Street Frontage requirement shall supersede.

- ii. Parking structure facades on all Type 'A' Frontages and along CityLine Drive shall be designed with both vertical (façade rhythm of 20 feet to 40 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- iii. Where above ground structured parking is located at the perimeter of a building with frontage along a Type 'A' Frontage; it shall be screened in such a way that cars on all parking levels are completely hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ideally, ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- iv. When parking structures are located at street intersections, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- v. Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Images showing appropriate design of Parking Structures along Type 'A' Streets

- vi. Design of Garage Facades along Plano Road and Type 'B' Frontages: Garage facades along the Plano Road and Type 'B' frontages shall be precast concrete spandrels with vertical elements at intervals of no greater than 80 feet.
- vii. Design of Garage Facades along George Bush Turnpike access road: Garage facades along the George Bush Turnpike access road shall be precast concrete spandrels.

8.1.3 Design of Automobile Related Building Site Elements

- i. Drive-through lanes for commercial uses shall not be located along any Type 'A' frontages. Drive-through lanes shall be hidden behind a Street Screen along any Type 'B' frontages.
- ii. All off-street loading, unloading, and trash pick-up areas shall be located along alleys or Type 'B' frontages only unless permitted in the specific building form and development standards in Section 7. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

8.1.4 Roof Form

- i. Buildings shall have simple, flat fronts with minimal articulations with flat or low pitched roofs (pitches 2.5:12 or lower) with parapets. Corner hip roof elements and gable accents at the parapet may be permitted. Projecting mansard roofs shall not be permitted.



8.1.5 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 40 feet along all Type ‘A’ Frontages.
- ii. This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- iii. Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.
- iv. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- v. Buildings shall generally maintain the alignment of horizontal elements along the block.
- vi. Corner emphasizing architectural features, pedimented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Buildings with architectural features and storefront elements that add interest along the street.

8.1.6 Windows and Doors

- i. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the specific architectural style of the building. First floor windows shall NOT be opaque, tinted or mirrored glass.
- ii. All ground floor front facades of buildings along Type ‘A’ Frontages or Civic/Open Space shall have transparent storefront windows covering no less than 50% of the façade area. Each upper floor of the same building facades facing a Type ‘A’ Frontage or Civic/Open Space shall contain transparent windows covering at least 30% of the façade area. All other street facing facades (except alleys) shall have transparent windows covering at least 15% of the façade area for all floors.



Images showing appropriate storefront display and transparency

8.1.7 Building Materials

- i. At least 85% of each building's façade (excluding doors and windows) along all streets shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, vertically and/or horizontally articulated architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block)
- ii. No more than 15% of each façade along all streets shall use accent materials such as wood, architectural metal panel, split-face concrete block, or tile.
- iii. Ground floor facades along Main Street Frontages shall be exempt from the 85% minimum masonry requirement to allow for greater flexibility in storefront design.



Images showing appropriate building materials within TOD Core and TOD Mixed Use zones.



Images showing appropriate use of architectural precast concrete panels as primary building materials

- iv. Use of EIFS along all building façades shall be eight (8) feet or higher and shall be limited to exterior trim and molding only.
- v. Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade and shall be limited to no more than 15% along all streets.
- vi. Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.

Section 9. Street & Streetscape Design Standards

9.1 Generally: Streets in the CityLine East PD need to support the overall goal of a mixed use, compact, pedestrian oriented district. They should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates the Mandatory and Non-Mandatory Street Network within the CityLine East PD. This section establishes a palette of pedestrian-oriented streets that are appropriate within the CityLine East PD. The palette specifies the typical configuration of streets within the CityLine East PD including vehicular lane widths parkway widths, R.O.W widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets in the CityLine East PD may vary based on the location. The service road of President George Bush Turnpike (State Highway 190) is under the purview of TxDOT while the remaining streets are city streets.

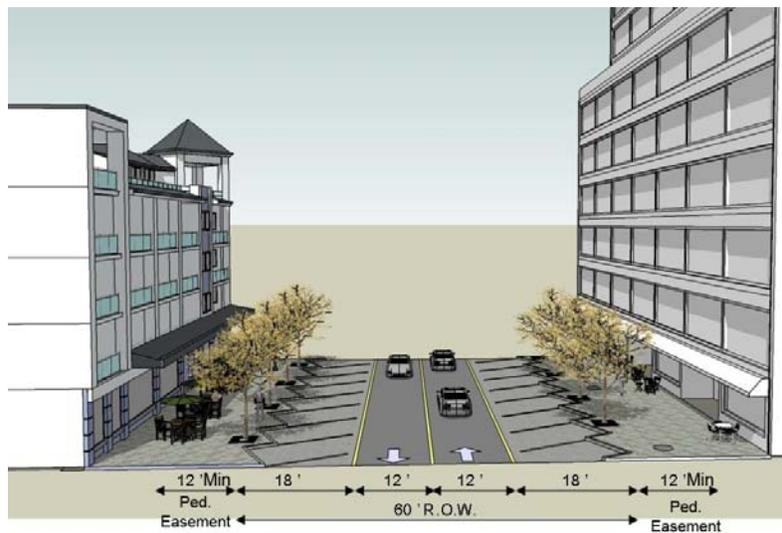
9.2 New Streets: This section specifies standards for all new streets in the CityLine East PD. Location of new streets shall be based on the Regulating Plan while the cross section shall be chosen from the street type palette established in this section. Additional new streets not identified in the Regulating Plan may be permitted per Table 3.1.

9.3 Street Type Palette Established: The following street cross sections are established for allowable street types within both the character zones of the CityLine East PD. The cross sections (including vehicular lane and on-street parking configurations, street tree placement, etc.) may be adjusted to fit existing contexts or other development contexts consistent with the vision for CityLine East with the approval of the City Engineer per Table 3.1. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

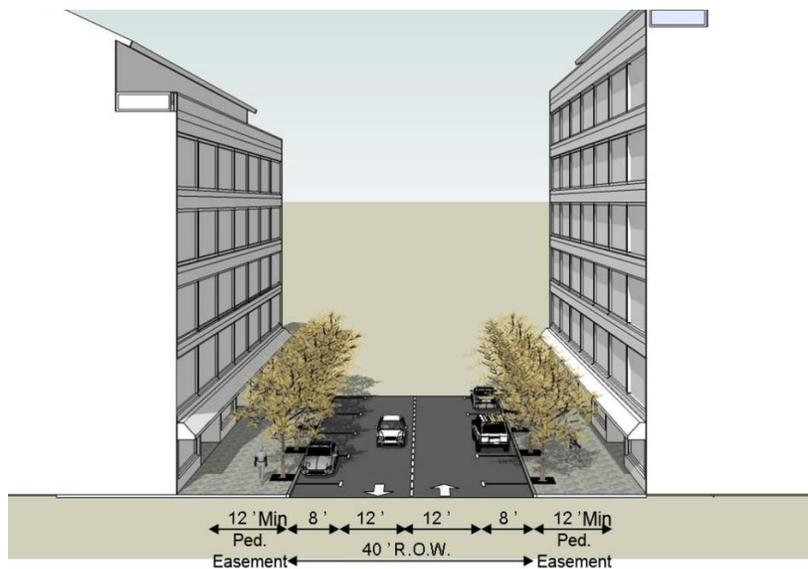
9.4 Street Cross Sections

9.4.1 Street Types 1 and 2: The following development criteria and context shall generally apply to all Street Types 1 and 2:

- i. Pedestrian-oriented development context, retail commercial and residential Type 'A' Development Frontage
- ii. Need for on-street parking (either angled or parallel)
- iii. Mostly continuous development context with few or limited driveway cuts (no continuous center turn lane required)
- iv. Pedestrian amenities and streetscape elements including curb extensions may be incorporated.
- v. Turn lanes may be provided only at key intersections



Street Type 1



Street Type 2

9.4.2 Street Types 3 and 4 : The following development criteria and context shall generally apply to all Street Types 3 and 4:

- i. Pedestrian-oriented development context, retail commercial and residential Type ‘A’ Development Frontage
- ii. Need for on-street parking (parallel parking on one or both sides)
- iii. Mostly continuous development context with some driveway cuts (optional continuous center turn lane)
- iv. Pedestrian amenities and streetscape elements including curb extensions may be incorporated.
- v. Street Type 4 shall be appropriate along civic/open space frontages. Turn lanes may or may not be incorporated based on specific development context. Parallel parking may be provided on one or both sides of the street.



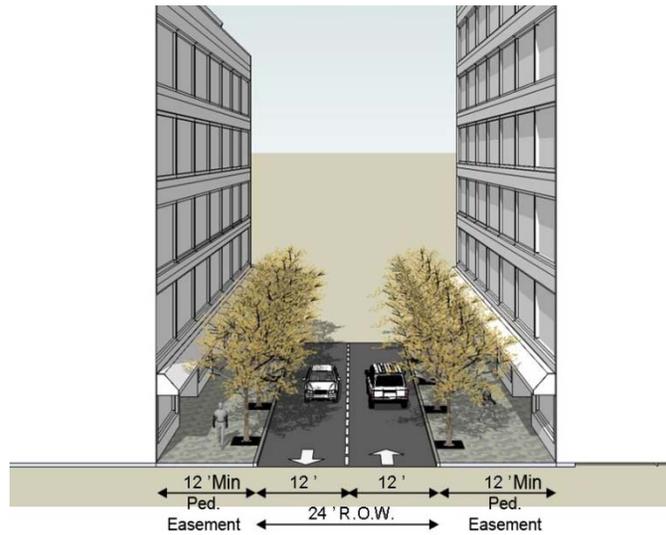
Street Type 3



Street Type 4

9.4.3 Street Types 5 and 6: . The following development criteria and context shall generally apply to all Street Types 5 and 6:

- i. Generally service and utility functions (Type ‘B’ Development Frontage)
- ii. Limited need to accommodate on-street parking
- iii. Access to parking garages and other service functions is important (optional continuous center turn lane may be provided as shown in Street Type 6 based on specific circulation and traffic operational considerations)
- iv. Basic pedestrian sidewalk and streetscape amenities shall still be incorporated.
- v. The width of the lanes in Street Type 6 may be adjusted down to 12’ each (and a corresponding reduction of the R.O.W) if no bicycle accommodation is proposed.



Street Type 5



Street Type 6

- 9.5 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets within the CityLine East PD. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape and landscape shall be by the property owners association established for the CityLine East PD. All dedicated public rights-of way and landscaping within them shall be maintained by the City of Richardson.
- 9.6 Street Trees and Landscaping (within the pedestrian easement):
- 9.6.1 Street trees shall be required on all CityLine East PD Streets (except along PGBT access road.)
 - 9.6.2 Street trees shall be planted approximately 3 feet behind the curb line or placed in curb extensions (bump-outs into the parking lane) as long as the spacing meets the standard below. Street trees may be planted in tree wells with either landscaping or tree grates or in a continuous landscape strip. Continuous landscape strips may be more appropriate within residential development contexts.
 - 9.6.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets unless otherwise specified in the cross sections.
 - 9.6.4 The minimum caliper size for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet. However, the tree well area may be no smaller than 5'X5'.
 - 9.6.5 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof. Turf grass must be installed as solid sod and not seeded on.
 - 9.6.6 Species shall be selected from the CityLine East PD Planting List in Appendix B of this ordinance.
 - 9.6.7 Maintenance of all landscape materials shall meet the requirements of the City of Richardson Landscape Ordinance Requirements.
 - 9.6.8 Along arterials and highway access roads, street trees shall be planted within the required landscape parkway as per the City of Richardson Landscape Ordinance/Policies.
- 9.7 Street Furniture, Lighting, and Materials:
- 9.7.1 Pedestrian scale lighting shall be required along all CityLine East PD streets (except on PGBT access road). They shall be no taller than 25 feet.
 - 9.7.2 Pedestrian-scale and regular street lights shall be placed at uniform locations based on the placement of street trees and other street furniture to provide safety for both pedestrians and automobiles while limiting spill-over and light pollution effects of such street lights. The placement and illumination intensity shall be subject to City approval at the time of Development Plan.
 - 9.7.3 The light standard selected shall be compatible with the design of the street and buildings.
 - 9.7.4 Trash receptacles and bike racks shall be required along all Required Type 'A' Frontages. A minimum of one each per block face shall be required.
 - 9.7.5 Street furniture and pedestrian amenities such as benches are recommended along all Required Type 'A' Frontages.
 - 9.7.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.
 - 9.7.7 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

Section 10. Signage

10.1 All new signs shall comply with Chapter 18 of the City of Richardson Code of Ordinances, as amended unless a Master Sign Plan is developed and approved per the section below.

10.2 Master Sign Plan: An applicant may establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City Manager or designee and are subject to approval of the City Plan Commission. In evaluating a Master Sign Plan, the City Plan Commission shall consider the extent to which the application:

10.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;

10.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;

10.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and

10.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

Section 11. Civic/Open Space Standards

11.1 The design of Civic/Open Space shall be regulated by the Civic/Open Space standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. Public art is permitted and even encouraged in all civic/open space types. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. Standards in Article XIII-A, Section 5 of the City of Richardson Zoning Ordinance shall not apply to any development in the CityLine East PD. Any of the following open space types may be implemented on any designated Civic/Open Space on the Regulating Plan (Appendix A). The Regulating Plan indicates Mandatory and 60% Mandatory/40% Non-Mandatory Civic/Open Spaces. Mandatory Civic/Open Space designation indicates locations where all the area shown as Mandatory Civic/Open Space shall be required. The 60% Mandatory/40% Non-Mandatory designation indicates the general locations of desired civic/open space of which at least 60% of the area designated (aggregate for the whole PD) as such shall be mandatory and the remainder of the designated area is optional. The optional aspect provides planning flexibility as the property is developed over time.

11.2 Park Standards



As designated on the Regulating Plan, the Mandatory Civic/Open Space on the eastern edge of the development will create an important public space within the CityLine East PD and allows for passive recreation. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included. At a minimum a 10' wide multi-use trail, grassy lawns, and other passive recreation amenities shall be incorporated in the Mandatory Civic/Open Space located on the eastern edge of the property. Trails along public streets may be located in conjunction with a sidewalk in a pedestrian easement.

Typical Characteristics

General Character

- Large, open space
- Spatially defined by landscaping and building frontages
- Paths, trails, open shelters, lawns, trees and shrubs naturally disposed
- May be lineal, following the trajectories of natural corridors

Location and Size

Location and size shall be as shown on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating/picnicking

11.3 Green Standards



Greens can serve as important public space for the CityLine East PD. Greens are available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green.

Typical Characteristics

General Character

- Open space
- Spatially defined by landscaping and building frontages
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses
- Residential address

11.4 Square Standards



Squares can serve as open spaces available for civic purposes, commercial activity, unstructured recreation and other passive uses. Asquare should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Located at important intersection

Location and Size

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses

11.5 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Location and Size

- Location and size are to be based on the Regulating Plan (Appendix A).
- Shall front on at least one (1) street.

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

11.6 Multi-Use Trail Standards



The multi-use trail provides an important place for active recreation and creates a connection to regional paths and biking trails. The multi-use trail shall run along north-south Plano Road and connect along CityLine Drive to the Mandatory Civic/open space on the eastern edge of the development and then loop south along Renner Road to provide for a local loop and regional connectivity. The multi-use trail will help activate connections between the open spaces and the uses throughout the CityLine East PD. The multi-use trail may have a different character as it passes through the park and along arterial roadways. Within the required park, the trail shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape. Along arterial roadways, it may be more formally aligned with concrete paving and landscaped buffers separating the trail from any adjacent travel lanes. It may also be located in conjunction with a sidewalk in a pedestrian easement.

Typical Characteristics

General Character

Park Multi-Use Trail:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Standards

Min. Width	10feet
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Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

Active and passive recreation

Casual seating

11.7 Playground Standards



Playgrounds shall be permitted in parks and greens to provide open space designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation.

A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.

Typical Characteristics

General Character

- Focused toward children of all ages
- Fenced with minimal exits (non mandatory)
- Open shelter
- Shade and seating provided
- Play structure, interactive art or fountains

Standards

- Min. Size N/A
- Max. Size N/A
- As described by civic space type in which playground is located
- Protected from traffic
- No service or mechanical equipment

Typical Uses

- Active and passive recreation
- Unstructured recreation
- Casual seating

11.8 Ancillary Structure Standards



Ancillary structures should be formal in character and generally related to but clearly subordinate to surrounding buildings. Each individual structure should keep in character with the style of nearby buildings. Typically, these structures are located at prominent locations within an appropriate civic space. Ancillary structures such as kiosks located in Civic/Open Spaces in both the zones may have minor commercial uses, such as small food, retail or news vendors, but may also serve as civic elements for general public use with more passive activities. Permanent kiosk structures shall be limited to no more than 10% of the area of any Civic/Open Space and shall not exceed 2,500 sq.ft. per structure.

Typical Characteristics

General Character

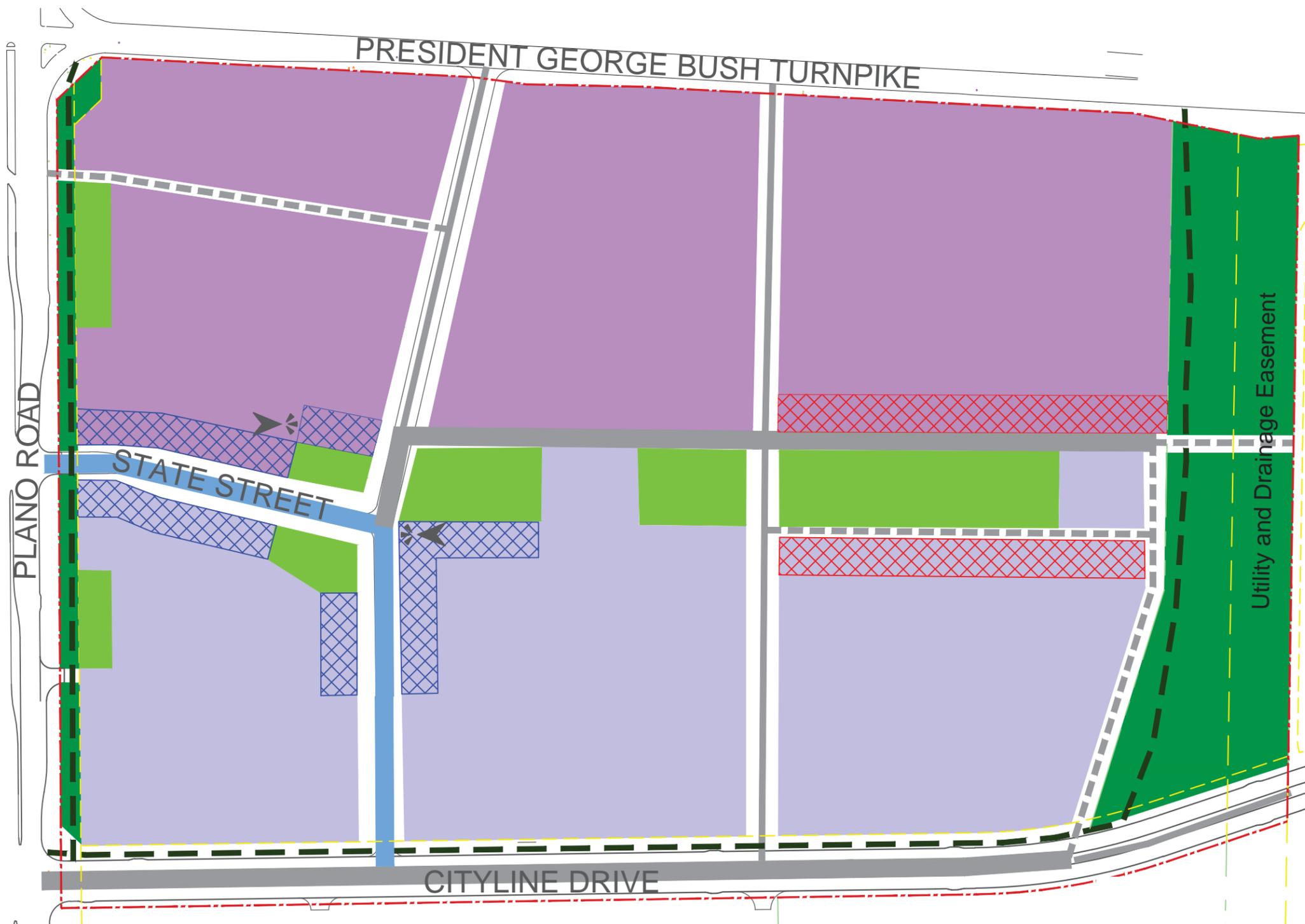
- Formal character
- Relating to style of surrounding buildings
- One or more open sides
- Covered or providing shade
- Small, stand alone structure
- Located within Park, Green, Square or Plaza

Standards

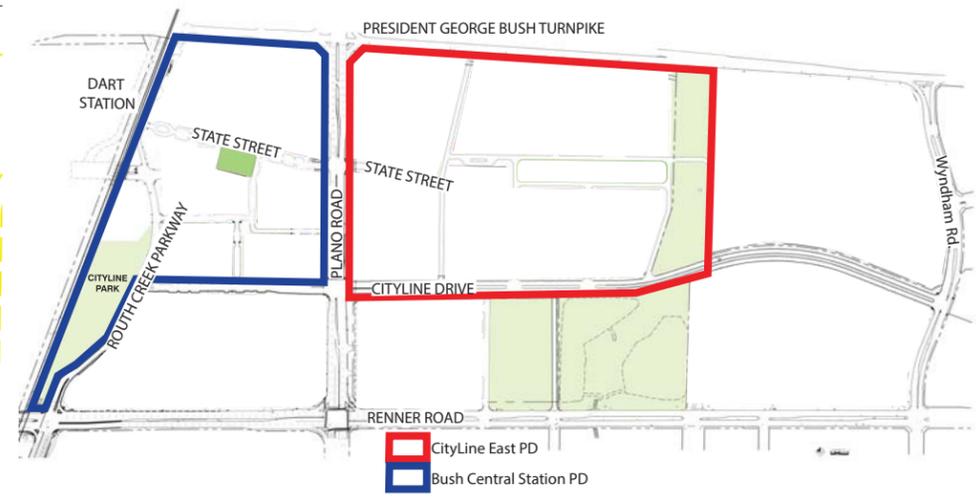
Min. Size	N/A
Max. Size	N/A

Typical Uses

- Civic purposes
- Minor commercial uses
- Casual seating/picnicking

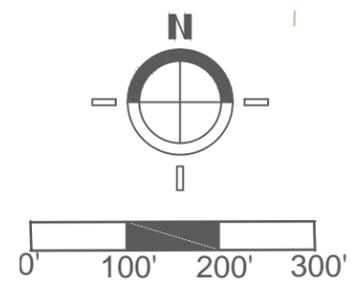


PD Area Key Map



LEGEND

CHARACTER ZONES		STREET NETWORK	
	TOD Core	21.81 Acres	Street Type 1
	TOD Mixed Use	19.39 Acres	Mandatory Street
CIVIC / OPEN SPACE TYPES		Non-Mandatory Street	
	Civic/Open Space 100% Mandatory	6.44 Acres	DEVELOPMENT FRONTAGE
	Civic/ Open Space 60% Mandatory/ 40% Non-Mandatory	3.44 Acres	Type A Frontage Required
OTHER		Type A Frontage Recommended*	
	Approximate District Boundary	Type B Frontage Recommended	
	Multi-Use Trail	*A minimum of one block face per block shall be developed to meet the standards of a Type 'A' Development Frontage	
	Utility Easement	Note: Plano Road and SH 190 Access Road shall be considered as Type 'B' frontages for the purposes of the CityLine East PD.	
	Terminated Vista	SPECIAL FRONTAGE DESIGNATIONS	
	Optional Transitional Campus Frontage		Main Street Frontage



**Appendix B
Planting List**

The following lists contain all species approved for use in the CityLine East PD. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within the CityLine East PD. The use of alternative species may be permitted with the approval of the City.

CANOPY/STREET TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Live Oak	<i>Quercusvirginiana</i>
Red Oak	<i>Quercusshumardi</i>
Bald Cypress	<i>Taxodiumdistichum</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Cedar Elm	<i>Ulmuscraassifolia</i>
Lacebark Elm	<i>Ulmuspavifolia</i>
Bigtooth Maple	<i>Acer grandidentatum</i>
Caddo Maple	<i>Acer saccharum 'Caddo'</i>
Texas Ash	<i>Fraxinusvelutina 'Rio Grande'</i>
Bur Oak	<i>Quercusmacrocarpa</i>
Chinquapin Oak	<i>Quercusmuhlenbergii</i>
Escarpment Live Oak	<i>Quercusfusiformis</i>
Ginkgo	<i>Ginkgo biloba</i>

ORNAMENTAL TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Yaupon Holly	<i>Ilex vomatoria</i>
Crape Myrtle	<i>Lagerstromiaindica</i>
Deciduous Yaupon	<i>Ilex decidua</i>
Southern Crabapple	<i>Malus app.</i>
Chinese Pistache	<i>Pistaciachinensis</i>
Mexican Plum	<i>Prunus Mexicana</i>
Wax Myrtle	<i>Myricacarifera</i>
Chitalpa	<i>Chitalpatashkentensis</i>
Deciduous Holly	<i>Ilex decidua</i>
Desert Willow	<i>Chilopsislinearis</i>
Eve's Necklace	<i>Sophoraaffinis</i>

SHRUBS LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Nandina	<i>Nandinadomestica 'nana'</i>
Dwarf Burford Holly	<i>Ilex cornuta 'burfordi nana'</i>
AbeliaGrandiflora	<i>Abeliagrandiflora</i>
Barberry	<i>Barberry spp.</i>
Yucca (Red, Yellow or Soft Tip)	<i>Hesperaloeparviflora</i>
Texas Sage	<i>Leucophyllumfrutescans</i>
Indian Hawthorn	<i>Raphiolepisindica</i>

Dwarf Crape Myrtle	<i>Lagerstromiaindica 'nana'</i>
Dwarf Yaupon Holly	<i>Ilex vomitorria 'nana'</i>
Pampas Grass	<i>Cortaderiaselloana</i>
Black-Eyed Susan	<i>Rudbeckiahirta</i>
Dwarf Wax Myrtle	<i>Myricapusilla</i>
Needlepoint Holly	<i>Ilex cornuta 'Needle Point'</i>
Knockout Rose	<i>Rosa 'Knock Out'</i>
Rosemary	<i>Rosmarinusofficinalis</i>

GROUND COVER/VINES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Asian Jasmine	<i>TrachelosperumAsiaticum</i>
Big Blue Liriope	<i>Liriopemuscar</i>
Mondograss	<i>Ophiopogonjaponicus</i>
Purple Winter Creeper	<i>Euonymumcoloratus</i>
Santolina	<i>Santolinavirens</i>
Trumpet Vine	<i>Campsisradicans</i>
Virginia Creeper	<i>Parthenocissusquinquifolia</i>
Lady Banks Rose	<i>Rosa banksiawlutea</i>
Confederate Jasmine	<i>Trachelospermumjasminoides</i>
Crossvine	<i>Bignonia capreolata</i>
Evergreen Wisteria	<i>Millettiareticulata</i>
Lantana 'New Gold'	<i>Lantanacamara 'New Gold'</i>
Liriope 'Silver Dragon'	<i>Liriopemuscar'Silver Dragon'</i>
Prostrate Rosemary	<i>Rosmarinusofficinalisprostrata</i>
Sweet Autumn Clematis	<i>Clematis terniflora</i>

ORNAMENTAL GRASSES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Fountain Grass 'Little Bunny'	<i>Pennisetumalopecuroides'Little Bunny'</i>
Dwarf Maiden Grass	<i>Miscanthussinensis 'Adagio'</i>
Fountain Grass	<i>Pennisetumalopecuroides</i>
Inland Seaots	<i>Chasmanthiumlatifolium</i>
Maiden Grass	<i>Miscanthussinensis 'Gracillimus'</i>
Mexican Feather Grass	<i>Stipatenuissima</i>
Muhly Grass	<i>Muhlenbergiacapillaris</i>
Weeping Lovegrass	<i>Eragrostiscurvula</i>

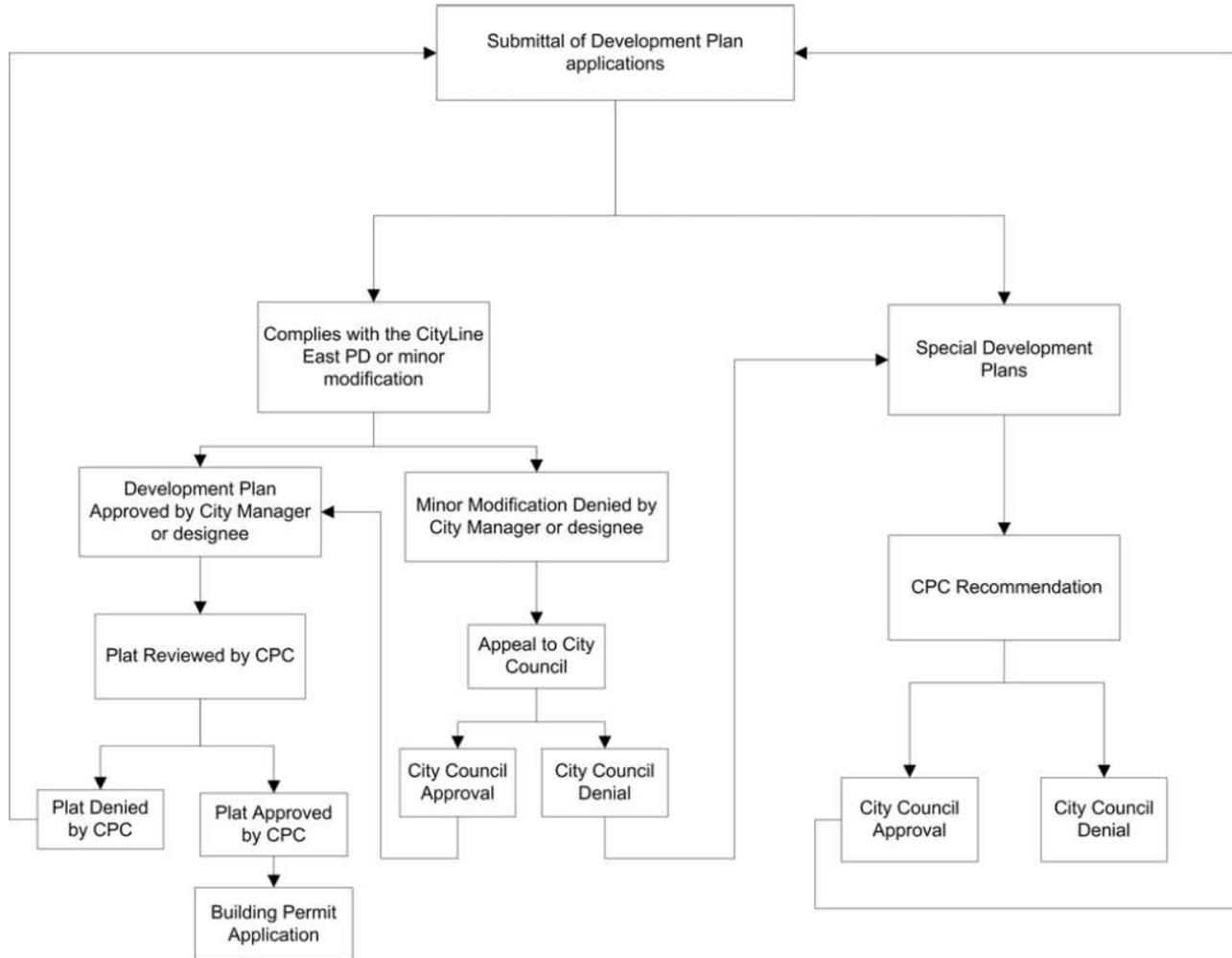
TURF

<u>Common Name</u>	<u>Botanical Name</u>
Bermuda	<i>Cynodondactylon</i>
St. Augustine	<i>Stenotaphrumsecondatum</i>
Zoysia	<i>Zoysiatenuifolia</i>

These plantings may be placed in Civic/Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.

Appendix C

**CityLine East PD
Development Review Process**



CityLine East PD: CityLine East Planned Development
CPC: City Plan Commission
CC: City Council
SDP: Special Development Plan

Note: Development Plans include site plans, building elevations, landscape plans, civil engineering plans, and all plats