

City of Richardson City Plan Commission Agenda Packet August 16, 2011

To advance to the background material for each item in the agenda, click on the item title in the agenda or click on Bookmarks in the tool bar on the left side of your screen.

AGENDA
CITY OF RICHARDSON - CITY PLAN COMMISSION
AUGUST 16, 2011
7:00 P.M.
CIVIC CENTER – COUNCIL CHAMBERS
411 W. ARAPAHO ROAD

BRIEFING SESSION: 6:00 P.M. Prior to the regular business meeting, the City Plan Commission will meet with staff in the East Conference Room, located on the first floor, to receive a briefing on:

A. Agenda items

B. Staff Report

C. Refinements to the West Spring Valley Planned Development Ordinance

MINUTES

1. **Approval of minutes of the regular business meeting of August 2, 2011.**

CONSENT AGENDA

All items listed under the Consent Agenda are considered to be routine by the City Plan Commission and will be enacted by one motion in the form listed below. There will be no separate discussion of these items unless desired, in which case any item(s) may be removed from the Consent Agenda for separate consideration.

2. **Concept Plan – Galatyn Park North:** A request for approval of a revised concept plan for Tracts R-13B and R-14 located on the south side of President George Bush Highway, north of Renner Road and east of Plano Road. Applicant: Brian Satagaj, representing Half Associates. *Staff: Israel Roberts.*
3. **Revised site plan, revised landscape plan and building elevations for a Bank of America data center:** A request for approval of a revised site plan, revised landscape plan and building elevations for a single-story 18,300 square foot data center. The 11.79-acre site is located at the southeast corner of Wyndham Lane and Infocom Drive. Applicant: Brian Satagaj, representing Half Associates. *Staff: Israel Roberts.*
4. **Revised site plan, revised landscape plan and building elevations for a Bank of America data center:** A request for approval of a revised site plan, revised landscape plan and building elevations for a single-story 18,430 square foot data center. The 19.94-acre site is located at the southeast corner of Telecom Parkway and Breckinridge Boulevard. Applicant: Brian Satagaj, representing Half Associates. *Staff: Israel Roberts.*

PUBLIC HEARINGS

5. **Replat of Lot 1C, Block A of the Galatyn Park North Addition:** A request for approval of a replat of Lots 1B and 2A, Block A of the Galatyn Park North Addition to combine the lots into one (1) legal lot of record for the development of a data center. The 11.79-acre tract of land located at the southeast corner of Wyndham Lane and Infocom Drive. Applicant: Brian Satagaj, representing Half Associates. *Staff: Israel Roberts*

6. **Replat of Lot 1D, Block B of the Shiloh Business Park Addition:** A request for approval of a replat of Lots 1C and 3, Block B of the Shiloh Business Park to combine the lots into one (1) legal lot of record for the development of a data center. The 19.94-acre tract of land located on the east side of Telecom Parkway, south of Breckinridge Blvd. Applicant: Brian Satagaj, representing Half Associates. *Staff: Israel Roberts*

ADJOURN

The City Hall/Civic Center is wheelchair accessible. Any requests for sign interpretive services must be made 48 hours ahead of the meeting. To make arrangements, call (972) 744-4000, or (TDD) 1-800-735-2989.

I hereby certify that the above agenda was posted on the bulletin board at City Hall on or before 5:30p.m., Friday, August 12, 2011.

Kathy Welp, Executive Secretary

Staff Reports



Development Status Report

City of Richardson, Texas ♦ Development Services Department

Updated: August 12, 2011

#	Name/Location	Project Information	Status
ZONING/SPECIAL PERMITS			
1	ZF 11-13 National American University 300 N. Coit Rd.	A request by Mike Buckingham, representing National American University, for a Special Permit for a private university office and classrooms at 300 N. Coit Road (east side of Coit Road, approximately 1,500 feet north of Belt Line Road). The property is currently zoned LR-M(2) Local Retail.	City Plan Commission July 19, 2011 <i>Recommended Approval</i> City Council August 8, 2011 <i>Approved</i>
VARIANCES			
2	VAR 11-08 TI RAFAB 300 W. Renner Rd.	A request for approval of a variance from Article III, Section 21-47(g), Open Space and Screening, for the Texas Instruments fabrication facility. The 92.4-acre site is located at the northwest corner of Renner Road and Alma Road.	City Plan Commission July 19, 2011 <i>Recommended Approval</i> City Council August 8, 2011 <i>Approved</i>
PLAT/CONCEPT/DEVELOPMENT PLAN APPROVALS			
3	Stream Data Center 1811 E. Renner Rd.	A request for approval of a final plat, site plan, landscape plan and building elevations for a data center on a 7.09-acre tract of land located at the northeast corner of Renner Road and Wyndham Lane.	City Plan Commission August 2, 2011 <i>Approved</i>
4	Galatyn Park North Northeast of Renner Rd. and Plano Rd.	A request for approval of a revised concept plan for Tracts R-13B and R-14 located on the south side of President George Bush Highway, north of Renner Road and east of Plano Road.	City Plan Commission August 16, 2011
5	Bank of America Data Center—Wyndham 3510 Wyndham Ln.	Replat of Lot 1C, Block A of the Galatyn Park North Addition: A request for approval of a replat of Lots 1B and 2A, Block A of the Galatyn Park North Addition to combine the lots into one (1) legal lot of record for the development of a data center. The 11.79-acre tract of land located at the southeast corner of Wyndham Lane and Infocom Drive. Revised site plan, revised landscape plan and building elevations for a Bank of America data center: A request for approval of a revised site plan, revised landscape plan and building elevations for a single-story 18,300 square foot data center. The 11.79-acre site is located at the southeast corner of Wyndham Lane and Infocom Drive.	City Plan Commission August 16, 2011



Development Status Report

City of Richardson, Texas ♦ Development Services Department

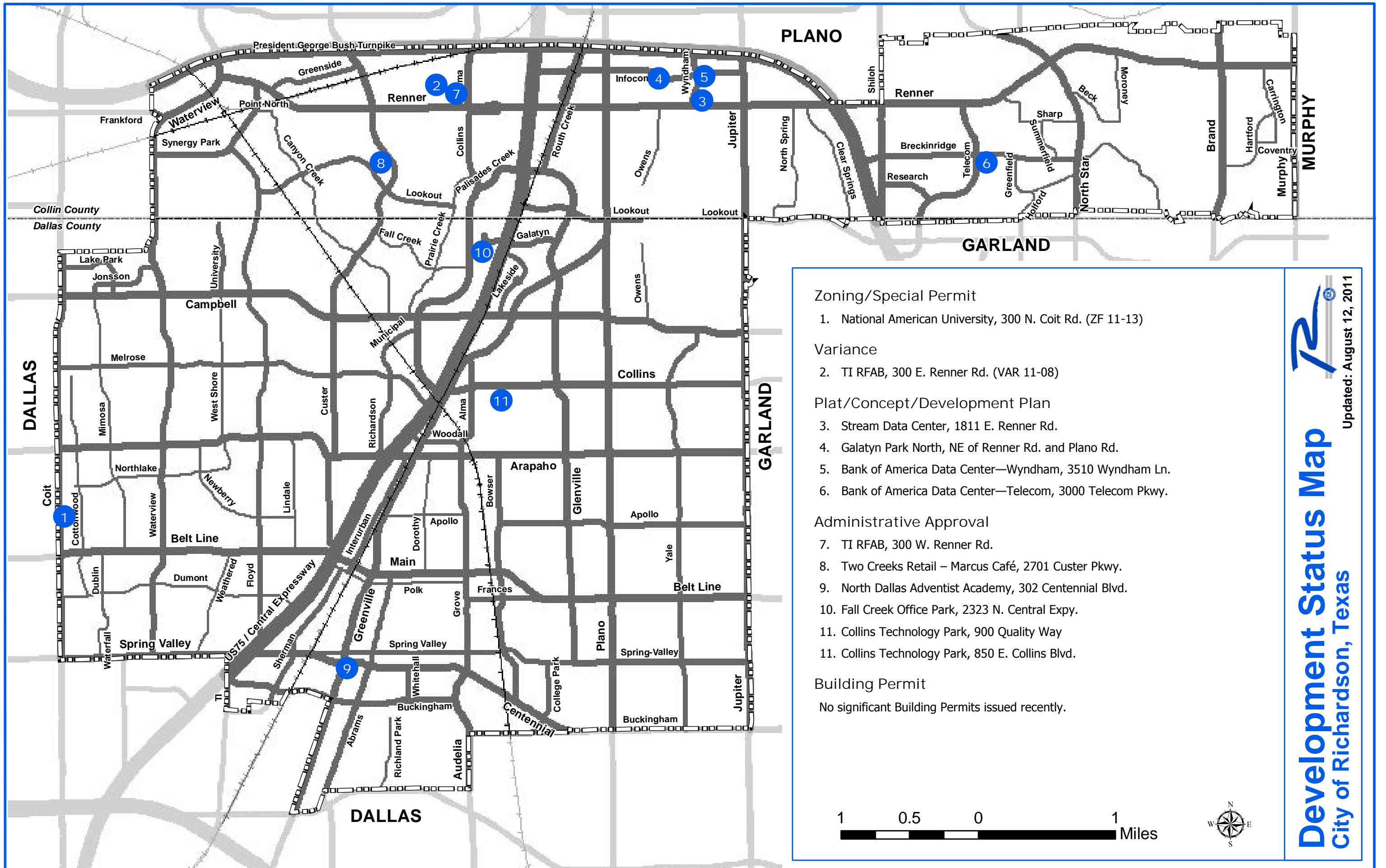
#	Name/Location	Project Information	Status
PLAT/CONCEPT/DEVELOPMENT PLAN APPROVALS (CONT'D)			
6	Bank of America Data Center—Telecom 3000 Telecom Pkwy.	<p>Replat of Lot 1D, Block B of the Shiloh Business Park Addition: A request for approval of a replat of Lots 1C and 3, Block B of the Shiloh Business Park to combine the lots into one (1) legal lot of record for the development of a data center. The 19.94-acre tract of land located on the east side of Telecom Parkway, south of Breckinridge Blvd.</p> <p>Revised site plan, revised landscape plan and building elevations for a Bank of America data center: A request for approval of a revised site plan, revised landscape plan and building elevations for a single-story 18,430 square foot data center. The 19.94-acre site is located at the southeast corner of Telecom Parkway and Breckinridge Boulevard.</p>	<p>City Plan Commission August 16, 2011</p>
ADMINISTRATIVE APPROVALS			
7	TI RFAB 300 W. Renner Rd.	Revised the site plan to note the installation of three (3) foundations for future utility locations. The utilities will be installed with a future approval. The revised site plan also notes the installation of a new transformer located at the southeast corner of the fabrication building. The subject transformer is screened from adjacent properties by the Administration Building and existing berming and trees.	<p>Staff July 28, 2011 <i>Approved</i></p>
8	Two Creeks Retail – Marcus Cafe 2701 Custer Pkwy.	Revised the site and landscape plans to note the installation of a trellis structure within the outdoor patio on the south side of building “C”.	<p>Staff July 29, 2011 <i>Approved</i></p>
9	North Dallas Adventist Academy 302 Centennial Blvd.	Revised the site plan to reflect the location of two temporary buildings and a sports courts enclosed by a 6’ high wrought iron fence on the east side of the existing buildings. Temporary use permits are permitted by the Comprehensive Zoning Ordinance for a period of six months. The attached plan doesn’t supersede the current approved site plan on file.	<p>Staff July 29, 2011 <i>Approved</i></p>
10	Fall Creek Office Park 2323 N. Central Expy.	Revised the landscape plan to note the implementation of landscape modifications, including removal of various trees throughout the property to enhance the site visibility for potential tenants. The revised landscape plan meets the City’s landscape requirements and policies, including the U.S. 75 Amenity Design Guidelines.	<p>Staff August 5, 2011 <i>Approved</i></p>



Development Status Report

City of Richardson, Texas ♦ Development Services Department

#	Name/Location	Project Information	Status
ADMINISTRATIVE APPROVALS (CONT'D)			
11	Collins Technology Park 900 Quality Way	Revised the site and landscape plan to reflect the conversion of the existing office building into a data center. 76 spaces are required and 77 have been provided.	Staff August 9, 2011 <i>Approved</i>
11	Collins Technology Park 850 E. Collins Blvd.	Revised the site and landscape plan to reflect the development of a parking lot. This lot is being reserved for a future development on this site.	Staff August 9, 2011 <i>Approved</i>
RECENTLY ISSUED BUILDING PERMITS			
		No significant Building Permits issued recently.	



Zoning/Special Permit

- 1. National American University, 300 N. Coit Rd. (ZF 11-13)

Variance

- 2. TI RFAB, 300 E. Renner Rd. (VAR 11-08)

Plat/Concept/Development Plan

- 3. Stream Data Center, 1811 E. Renner Rd.
- 4. Galatyn Park North, NE of Renner Rd. and Plano Rd.
- 5. Bank of America Data Center—Wyndham, 3510 Wyndham Ln.
- 6. Bank of America Data Center—Telecom, 3000 Telecom Pkwy.

Administrative Approval

- 7. TI RFAB, 300 W. Renner Rd.
- 8. Two Creeks Retail – Marcus Café, 2701 Custer Pkwy.
- 9. North Dallas Adventist Academy, 302 Centennial Blvd.
- 10. Fall Creek Office Park, 2323 N. Central Expy.
- 11. Collins Technology Park, 900 Quality Way
- 11. Collins Technology Park, 850 E. Collins Blvd.

Building Permit

No significant Building Permits issued recently.



Development Status Map
City of Richardson, Texas

Updated: August 12, 2011

**West Spring
Valley
Planned
Development
Ordinance**



Staff Report

TO: City Plan Commission

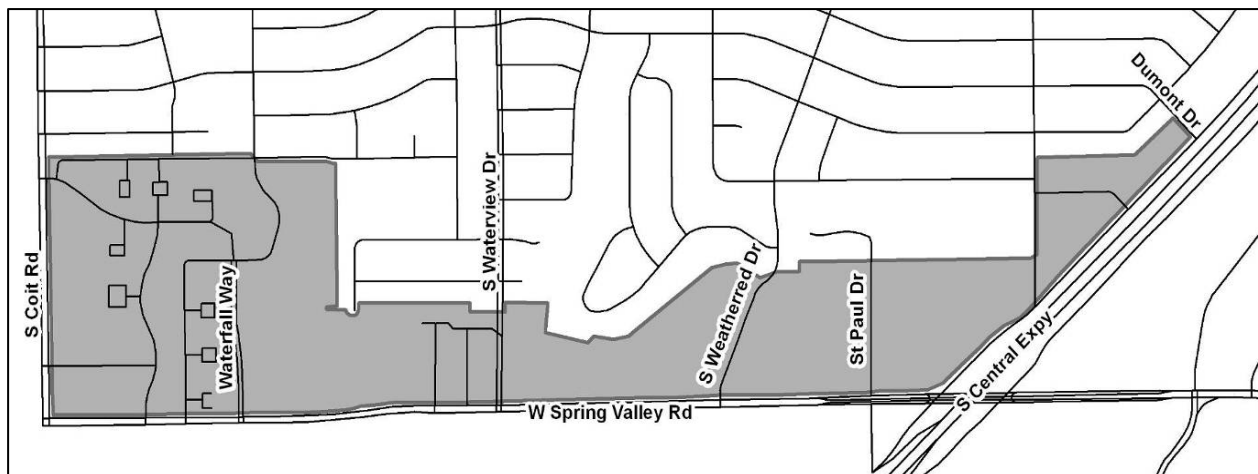
FROM: Monica Heid, Community Projects Manager *MH*

DATE: August 12, 2011

RE: **Study Session - Zoning File 11-14:** Refinements to the West Spring Valley Planned Development Ordinance

WEST SPRING VALLEY CORRIDOR:

- West - Coit Road
- East - Central Expressway
- South - Spring Valley Road
- North - Single-family homes
- 187 acres of land
- 10 acres of right-of-way



BACKGROUND:

Since the adoption of the West Spring Valley Planned Development (PD) Ordinance in May of 2011 and the correction of scrivener's errors in June, two training sessions have been held with staff and discussions have been occurring with business and property owners, mostly those involved with nonconforming properties. As a result, staff has identified some possible refinements of the PD ordinance that will:

- Make the regulations more user-friendly;
- Allow for more effective administration; and
- Improve the regulations without changing the vision, intent or goals of the West Spring Valley Corridor Reinvestment Strategy.

The Council was briefed on many of the changes on August 1. They indicated support for nearly all of the proposals and gave further direction on a few others. At the CPC work session on Tuesday, a more detailed discussion of the proposed revisions will take place.

PROPOSED AMENDMENTS:

Staff and the City Attorney are still in the process of updating the draft, so while there may be additional changes following Tuesday’s briefing, the proposed revisions will still fall into the categories of:

- Refinements
- Clarifications
- Standardization of language
- Reorganization of certain sections
- Edits to tables
- Improved graphics
- Other minor changes and improvements

REQUESTED ACTION:

A summary handout will be provided on Tuesday along with a PowerPoint presentation, and the Commission will be asked to review and discuss the proposed revisions. No further action is necessary at this time; however, the schedule for the zoning case that will be required to revise the PD is as follows:

Task	Proposed Date
CC work session	Monday, August 1, 2011
CPC work session	Tuesday, August 16, 2011
CPC public hearing	Tuesday, September 6, 2011
CC public hearing	Monday, September 19, 2011 (tentative)
Adopt ordinance	

Agenda

Item 1

**CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – AUGUST 2, 2011**

The Richardson City Plan Commission met August 2, 2011, at 7:00 p.m. at City Hall in the Council Chambers, 411 W. Arapaho Road, Richardson, Texas.

MEMBERS PRESENT: David Gantt, Chairman
Bill Hammond, Vice Chair
Gerald Bright, Commissioner
Janet DePuy, Commissioner
Marilyn Frederick, Commissioner
Barry Hand, Commissioner
Thomas Maxwell, Commissioner
Eron Linn, Alternate

MEMBER ABSENT: Don Bouvier, Alternate

CITY STAFF PRESENT: Sam Chavez, Asst. Director of Dev. Svcs. – Planning
Israel Roberts, Development Review Manager
Kathy Welp, Executive Secretary

MINUTES

1. Approval of the minutes of the regular business meeting of July 19, 2011.

Motion: Commissioner Frederick made a motion to approve the minutes as presented; second by Commissioner Bright. Motion passed 7-0.

CONSENT AGENDA

All items listed under the Consent Agenda are considered to be routine by the City Plan Commission and will be enacted by one motion in the form listed below. There will be no separate discussion of these items unless desired, in which case any item(s) may be removed from the Consent Agenda for separate consideration.

2. Stream Data Center: A request for approval of a final plat, site plan, landscape plan and building elevations for a data center on a 7.09-acre tract of land located at the northeast corner of Renner Road and Wyndham Lane.

Motion: Vice Chair Hammond made a motion to approve the Consent Agenda; second by Commissioner Hand. Motion passed 7-0.

ADJOURN

With no further business before the Commission, Chairman Gantt adjourned the regular business meeting at 7:11 p.m.

WORK SESSION

1. Discussion: Repurposing of Retail Buildings.

Chairman Gantt reconvened the Commission into work session to discuss various ways to accelerate the process of rejuvenating the remaining redevelopment and enhancement areas outlined in the City's 2009 Comprehensive Land Plan.

No action was taken.

David Gantt, Chairman
City Plan Commission

Agenda

Item 2

Galatyn Park North Concept Plan

Attachments:

1. Locator
2. Revised concept plan staff report
3. Revised concept plan



Galatyn Park North
Tract 13B and 14

**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

Revised Concept Plan

PROJECT SUMMARY

Project:	Galatyn Park North (Tracts R-13B & R-14)
Location:	The property is bordered on the north by the President George Bush Highway (PGBH), and Renner Road along the south, west of Jupiter Road.
Staff Comments:	<p>The purpose of the revised concept plan is to reflect the proposed development of an additional 18,300 square foot building at the Bank of America data center located at the southwest corner of Infocom Drive and Wyndham Lane.</p> <p>Since the subject property overlaps two tracts within the Planned Development, (Tracts R-13B & R-14) both have been included in this amendment. Should the Commission approve the revised concept plan, a plat, detailed site, landscape, civil plans, and façade elevations must be approved prior the development of the expansion.</p> <p>The revised concept plan complies with all applicable zoning and development regulations.</p>
CPC Action:	Final decision

BACKGROUND

Zoning:	PD Planned Development District
Ordinance:	2587-A (Tracts R-13B & R-14)
Tract Size:	
Tract R-13B	Approximately 73.1 acres
Tract R-14	Approximately 50.7 acres

Concept Plan:

A concept plan for each tract must be approved by the Commission prior to the approval of any individual site plan within the zoning tract.

Concept Plan elements:

Major Circulation

The property is bordered on the north by the President George Bush Highway (PGBH), and Renner Road to the south.

In accordance with the Master Thoroughfare Plan, the concept plan indicates the extension of Infocom Drive, providing east/west access from Wyndham Drive to Plano Road.

Major Landscape, open space, drainage and wetland features

A drainage way and existing trees bisect the site from north to south. Additionally, a row of trees are along the southeast portion of the property, bordering the Fire Station No. 5/Police sub-station

The concept plan reflects the minimum required landscape setbacks established for the zoning.

Parking, building and area regulations

The revised concept plan reflects the existing single-story; 120,488 square foot data center with a screened generator yard and a new 18,300 data center located on the south side of the site. With the new building, 152 spaces are required and 155 are provided.

Per VAR 11-05 a 6’ masonry screening wall with a 2’ metal extension is provided along the east property line adjacent to the apartment community and an 8’ metal fence is permitted along the common property line with Fire Station No. 5/Police sub-station

As an element of the proposed development of the 18,300 square foot data center, two existing lots, both owned by Bank of America, will be combined into one (1) legal lot of record.

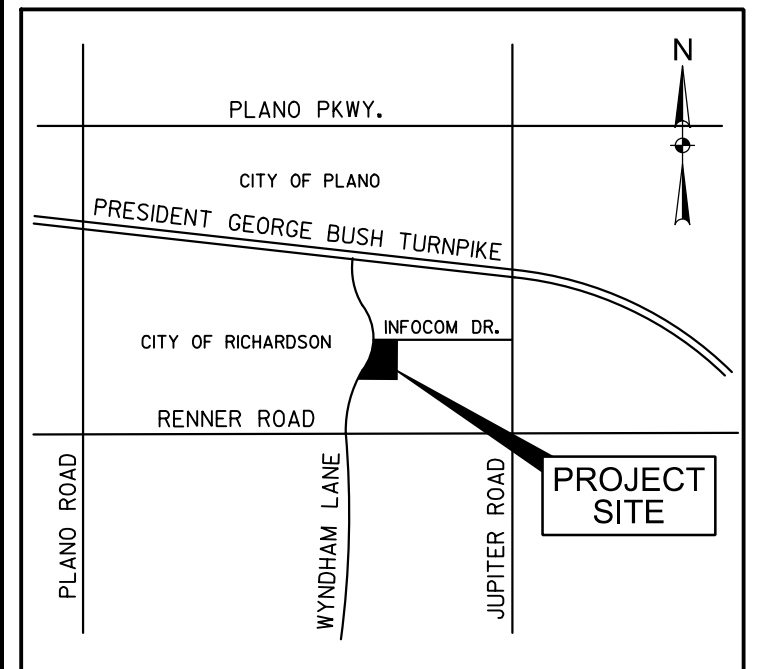
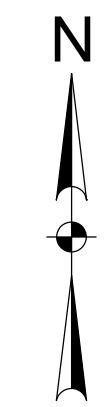
In March 2011, the City Plan Commission approved a revised concept plan to reflect the development of a 73,927 square foot data center located at the northeast corner of Renner Road and Wyndham Lane.

For the remainder of the property, the concept plan

indicates “building envelopes” rather than detailed building footprints to provide flexibility, yet sets parameters for future development by indicating the area regulations established by zoning.

Traffic and circulation

The concept plan shows two (2) existing driveways and the construction of a new access drive for the proposed data center. The proposed driving aisle will provide the necessary emergency circulation for the proposed building.



LOCATION MAP
N.T.S.
MAPSCO 86

Drawing Issue & Revision Status

REV#	DATE	DRAWN BY	ISSUE
A	06/13/2011	BMS	PRESUBMITTAL
B	06/20/2011	BMS	FINAL PACKAGE
C	07/05/2011	BMS	CITY SUBMITTAL
D	07/26/2011	BMS	CITY SUBMITTAL
E	07/29/2011	BMS	FINAL DEV. SUBMITTAL
F	08/11/2011	BMS	REV. FINAL DEV. SUBMTL.

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Irving, TX 75062
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F +1 972.717.1811
www.idgroupae.com

NOT FOR CONSTRUCTION
THESE DOCUMENTS HAVE BEEN PREPARED FOR CITY PLANNING DEPARTMENT USE AND ARE NOT INTENDED FOR CONSTRUCTION PURPOSES. THEY HAVE BEEN PREPARED BY, OR UNDER THE SUPERVISION OF:
BRIAN M. SATAGAJ 107708
NAME P.E. NO.
DATE 08-11-2011
TBPE FIRM # F-312

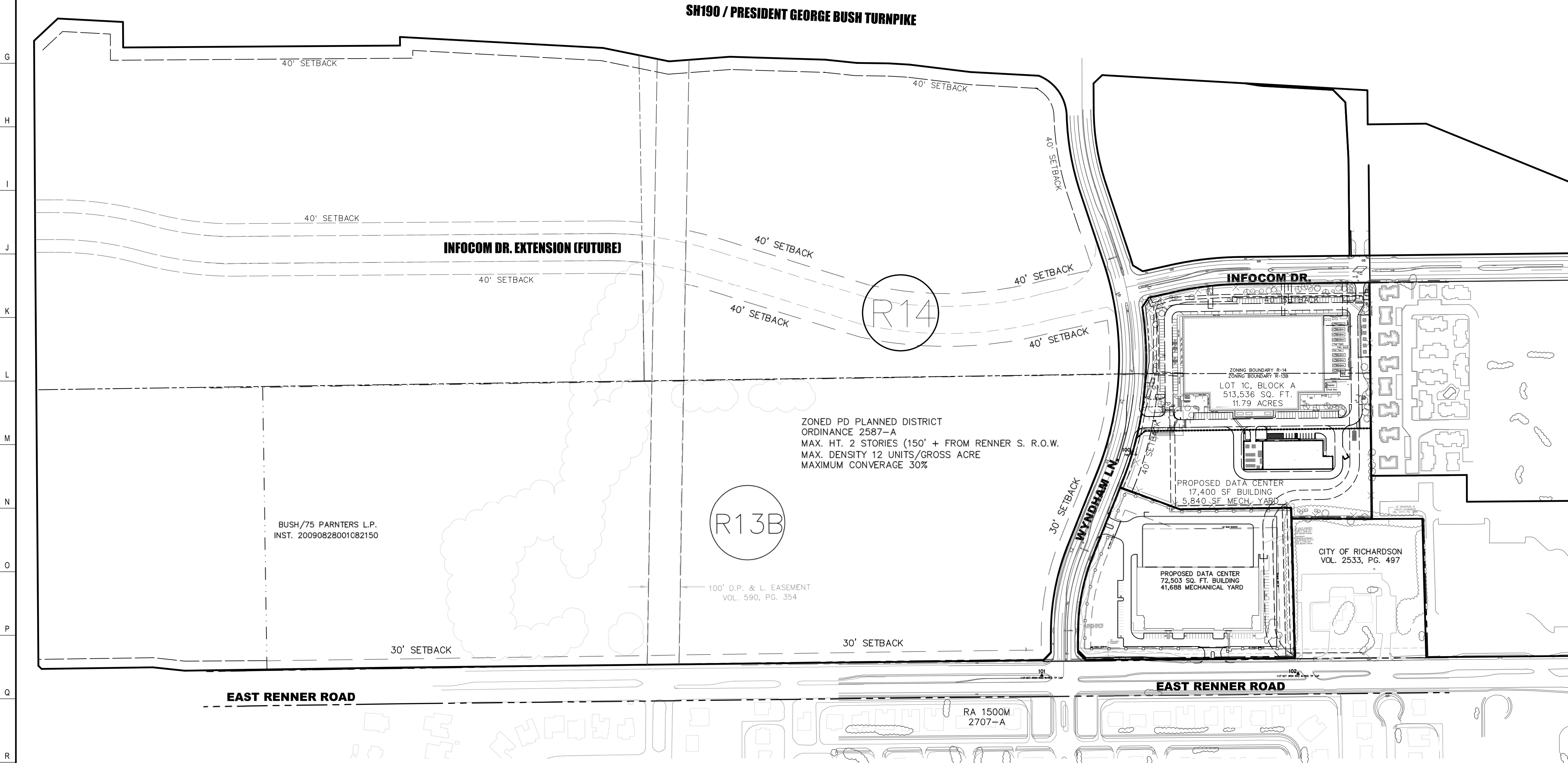
PROJECT TITLE & ADDRESS:
Bank of America
WTX WYNDHAM DATA CENTER
LOT 1C, BLOCK A
GALATYN PARK NORTH
3510 WYNDHAM LANE
RICHARDSON, TX 75082

SHEET NAME:
**CONCEPT PLAN
(SHEET 1 OF 2)**

IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011
HAI AVO No. 28164 SHEET NUMBER:
C0.04
CHECKED BY:

SITE DEVELOPMENT REQUIREMENTS - WYNDHAM DATA CENTER	
CURRENT ZONING:	PD, PLANNED DEVELOPMENT, ORDINANCE NO. 2587-A ZONING BOUNDARY R-13B ZONING BOUNDARY R-14
PERMITTED USES:	ZONING BOUNDARY R-13B: ALL USES PERMITTED IN A-950-M APARTMENT DISTRICT UPON RECOMMENDATION BY THE CITY PLAN COMMISSION AND APPROVAL BY THE CITY COUNCIL. (ADDITIONAL USES AND REGULATIONS AS SHOWN IN THIS TABLE) ZONING BOUNDARY R-14: ALL USES PERMITTED IN THE PD, PLANNED DEVELOPMENT DISTRICT. IN ADDITION, THE FOLLOWING USES SHALL BE PERMITTED: RESEARCH FACILITIES, TECHNICAL LABORATORIES, HOSPITAL AND MEDICAL RESEARCH ESTABLISHMENTS, INSTITUTIONAL USES, RETAIL SALES, RESTAURANT FACILITIES (NO DRIVE-THROUGH), HELIPORT USES, CHILD CARE, PARKING LOT, PUBLIC GARAGE, RADIO AND TELEVISION STATIONS WITHOUT TOWERS, AND TELEGRAPH AND TELEPHONE OFFICES.
SPECIAL CONDITIONS:	1. MULTI-LEVEL PARKING STRUCTURES SHALL ADHERE TO THE HEIGHT SETBACKS CONTAINED HEREIN. IN NO EVENT SHALL THE HEIGHT OF A PARKING STRUCTURE EXCEED SIX LEVELS ABOVE THE MEAN GRADE OF ADJACENT LAND. 2. ALL SUBSEQUENTLY APPROVED CONCEPT PLANS AND FINAL PLANS SHALL CONFORM TO THE EXHIBIT "B" DESIGN GUIDELINES FOR THE RICHARDSON S.H. 190 CORRIDOR, AS ATTACHED TO THIS ORDINANCE.
BUILDING HEIGHT REGULATIONS:	ZONING BOUNDARY R-13B: MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 2 STORIES. WITHIN 150' FROM SOUTH R.O.W. OF EXISTING RENNER ROAD, MAXIMUM HEIGHT SHALL BE 1 STORY. ZONING BOUNDARY R-14: MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 20 STORIES. BETWEEN 600' AND 800' FROM SOUTH R.O.W. OF EXISTING RENNER ROAD, THERE SHALL BE A MAXIMUM HEIGHT OF 6 STORIES. BETWEEN 800' AND 1000' FROM SOUTH R.O.W. OF EXISTING RENNER ROAD, THERE SHALL BE A MAXIMUM HEIGHT OF 8 STORIES. BETWEEN 1,000' AND 1,300' FROM SOUTH R.O.W. OF EXISTING RENNER ROAD, THERE SHALL BE A MAXIMUM HEIGHT OF 10 STORIES. (MECHANICAL ROOMS OF UNOCCUPIED PENTHOUSE EXCLUDED)
AREA REGULATIONS:	ZONING BOUNDARY R-13B: MAXIMUM FLOOR AREA RATION (F.A.R.) NOT TO EXCEED 0.40:1. MAXIMUM DENSITY SHALL NOT EXCEED A MEAN OF 12 DWELLING UNITS PER GROSS ACRE. ZONING BOUNDARY R-14: MAXIMUM FLOOR AREA RATION (F.A.R.) NOT TO EXCEED 1.5:1. RETAIL USES LIMITED TO MAXIMUM 15% OF TOTAL PERMITTED BUILDING AREA. MAXIMUM BUILDING COVERAGE NOT TO EXCEED 50% (INCLUDING PARKING STRUCTURE).
SETBACKS:	ZONING BOUNDARY R-13B: FRONT YARD: 40 FEET. (NO PARKING OR CIRCULATION AREAS PARALLEL TO STREET PERMITTED IN THIS REQUIRED FRONT YARD.) SIDE YARD: 30 FEET. REAR YARD: 60 FEET. ZONING BOUNDARY R-14: FRONT YARD: AT LEAST 100' R.O.W. REQUIRES A 100' BUILDING LINE (PARKING ALLOWED IN FRONT YARD BEHIND 40' LANDSCAPE SETBACK). LESS THAN 100' R.O.W. REQUIRES A 40' BUILDING LINE (PARKING ALLOWED IN FRONT YARD BEHIND 40' LANDSCAPE SETBACK). SIDE YARD: 25 FEET REAR YARD: 40 FEET.
LANDSCAPE REQUIREMENTS:	ZONING BOUNDARY R-13B: MINIMUM LANDSCAPE AREA SHALL NOT BE LESS THAN 15% OF GROSS LAND AREA. ZONING BOUNDARY R-14:
	FLOOR AREA RATIO MINIMUM LANDSCAPE % LESS THAN 0.75:1 15% 0.75:1 TO 1.25:1 20% 1.25:1 TO MAXIMUM 25%

SITE DATA TABLE - WYNDHAM DATA CENTER	
CURRENT ZONING:	PD, PLANNED DEVELOPMENT, ORDINANCE NO. 2587-A ZONING BOUNDARY R-13B ZONING BOUNDARY R-14
LOT AREA:	513,536 SF = 11.79 AC
BUILDING GSF:	
BUILDING 1:	5,760 GSF
OFFICE:	114,688 GSF
WAREHOUSE:	
BUILDING 2:	18,300 GSF
DATA CENTER:	138,748 GSF
TOTAL:	24 FT.
BUILDING 1 - ONE STORY HEIGHT:	
BUILDING 2 - ONE STORY HEIGHT:	
FLOOR AREA RATIO:	
ALLOWED:	ZONING BOUNDARY R14 ~ 4.51 AC @ 1.5:1 = 294,683 SF ZONING BOUNDARY R13B ~ 7.28 AC @ 0.4:1 = 126,847 SF COMPOSITE ~ 11.79 AC @ 0.82:1 = 421,530 SF 138,748 / 513,536 = 0.27:1
ACTUAL:	
PARKING:	
RATIO:	OFFICE - 1:300 GSF WAREHOUSE / DATA PROCESSING - 1:1000 GSF
REQUIRED:	5760 / 300 = 19 SPACES (OFFICE) 132988 / 1000 = 133 SPACES (WAREHOUSE/DATA) TOTAL = 152 SPACES
PROVIDED:	TOTAL = 155 SPACES
LANDSCAPE REQUIREMENTS:	
REQUIRED:	15% 77,036 SF (17.73 AC)
PROVIDED:	40% 206,122 SF (4.73 AC)



ZONED PD PLANNED DISTRICT
ORDINANCE 2587-A
MAX. HT. 2 STORIES (150' + FROM RENNER S. R.O.W.)
MAX. DENSITY 12 UNITS/GROSS ACRE
MAXIMUM COVERAGE 30%

BUSH/75 PARNTERS LP.
INST. 20090828001C82150

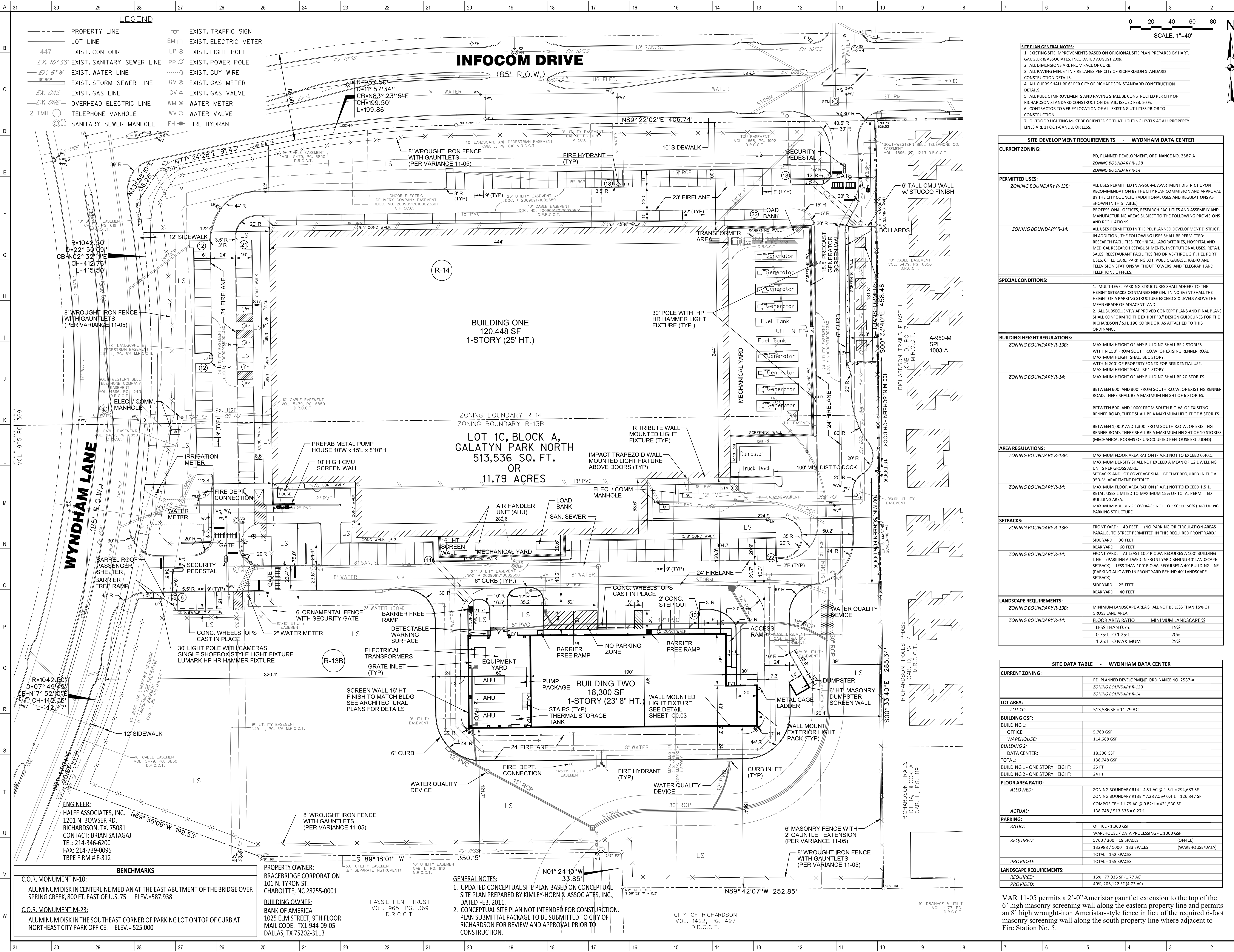
100' D.P. & L. EASEMENT
VOL. 590, PG. 354

RA 1500M
2707-A

BENCHMARKS
C.O.R. MONUMENT N-10:
ALUMINUM DISK IN CENTERLINE MEDIAN AT THE EAST ABUTMENT OF THE BRIDGE OVER SPRING CREEK, 800 FT. EAST OF U.S. 75. ELEV.=587.938
C.O.R. MONUMENT M-23:
ALUMINUM DISK IN THE SOUTHEAST CORNER OF PARKING LOT ON TOP OF CURB AT NORTHEAST CITY PARK OFFICE. ELEV.= 525.000

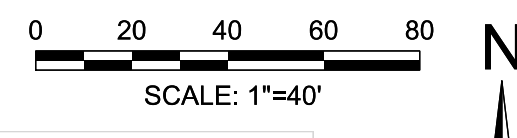
PROPERTY OWNER:
BRACEBRIDGE CORPORATION
101 N. TYRON ST.
CHARLOTTE, NC 28255-0001
BUILDING OWNER:
BANK OF AMERICA
1025 ELM STREET, 9TH FLOOR
MAIL CODE: TX1-944-09-05
DALLAS, TX 75202-3113

GENERAL NOTES:
1. UPDATED CONCEPTUAL SITE PLAN BASED ON CONCEPTUAL SITE PLAN PREPARED BY KIMLEY-HORN & ASSOCIATES, INC., DATED FEB. 2011.
2. CONCEPTUAL SITE PLAN NOT INTENDED FOR CONSTRUCTION. PLAN SUBMITTAL PACKAGE TO BE SUBMITTED TO CITY OF RICHARDSON FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

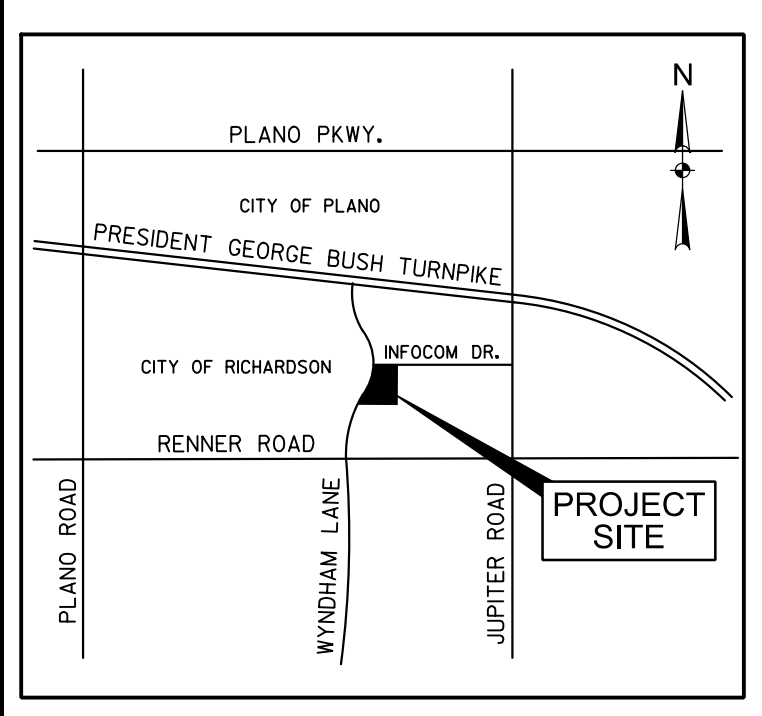


LEGEND

--- PROPERTY LINE	⊕ EXIST. TRAFFIC SIGN
--- LOT LINE	⊕ EXIST. ELECTRIC METER
--- 447 EXIST. CONTOUR	⊕ EXIST. LIGHT POLE
--- EX. 10" S.S. EXIST. SANITARY SEWER LINE	⊕ EXIST. POWER POLE
--- EX. 6" W EXIST. WATER LINE	⊕ EXIST. GUY WIRE
--- EX. 18" RCP EXIST. STORM SEWER LINE	⊕ EXIST. GAS METER
--- EX. GAS EXIST. GAS LINE	⊕ EXIST. GAS VALVE
--- EX. OHE OVERHEAD ELECTRIC LINE	⊕ WATER METER
⊕ 2-TMH TELEPHONE MANHOLE	⊕ WV WATER VALVE
⊕ SANITARY SEWER MANHOLE	⊕ FH FIRE HYDRANT



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 1201 NORTH BOWSER ROAD
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 TEL: (214) 346-6200
 FAX: (214) 739-0095
 TBPE FIRM # F-312



LOCATION MAP
 N.T.S.
 MAPSCO 86

SITE PLAN GENERAL NOTES:

- EXISTING SITE IMPROVEMENTS BASED ON ORIGINAL SITE PLAN PREPARED BY HART, GAUGLER & ASSOCIATES, INC., DATED AUGUST 2009.
- ALL DIMENSIONS ARE FROM FACE OF CURB.
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- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 1 FOOT-CANDLE OR LESS.

SITE DEVELOPMENT REQUIREMENTS - WYNDHAM DATA CENTER

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PERMITTED USES:	ALL USES PERMITTED IN A-950-M, APARTMENT DISTRICT UPON RECOMMENDATION BY THE CITY PLAN COMMISSION AND APPROVAL BY THE CITY COUNCIL. ADDITIONAL USES AND REGULATIONS AS SHOWN IN THIS TABLE. PROFESSIONAL OFFICES, RESEARCH FACILITIES AND ASSEMBLY AND MANUFACTURING AREAS SUBJECT TO THE FOLLOWING PROVISIONS AND REGULATIONS: ALL USES PERMITTED IN THE PD, PLANNED DEVELOPMENT DISTRICT. IN ADDITION, THE FOLLOWING USES SHALL BE PERMITTED: RESEARCH FACILITIES, TECHNICAL LABORATORIES, HOSPITAL AND MEDICAL RESEARCH ESTABLISHMENTS, INSTITUTIONAL USES, RETAIL SALES, RESTAURANT FACILITIES (NO DRIVE-THROUGH), HELP/REPAIR USES, CHILD CARE, PARKING LOT, PUBLIC GARAGE, RADIO AND TELEVISION STATIONS WITHOUT TOWERS, AND TELEGRAPH AND TELEPHONE OFFICES.
SPECIAL CONDITIONS:	1. MULTI-LEVEL PARKING STRUCTURES SHALL ADHERE TO THE HEIGHT SETBACKS CONTAINED HEREIN. IN NO EVENT SHALL THE HEIGHT OF A PARKING STRUCTURE EXCEED SIX LEVELS ABOVE THE MEAN GRADE OF ADJACENT LAND. 2. ALL SUBSEQUENTLY APPROVED CONCEPT PLANS AND FINAL PLANS SHALL CONFORM TO THE EXHIBIT "B" DESIGN GUIDELINES FOR THE RICHARDSON / S.H. 190 CORRIDOR, AS ATTACHED TO THIS ORDINANCE.
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AREA REGULATIONS:	ZONING BOUNDARY R-13B: MAXIMUM FLOOR AREA RATIO (F.A.R.) NOT TO EXCEED 0.40:1. MAXIMUM DENSITY SHALL NOT EXCEED A MEAN OF 12 DWELLING UNITS PER GROSS ACRE. SETBACKS AND LOT COVERAGE SHALL BE THAT REQUIRED IN THE A-950-M, APARTMENT DISTRICT. ZONING BOUNDARY R-14: MAXIMUM FLOOR AREA RATIO (F.A.R.) NOT TO EXCEED 1.5:1. RETAIL USES LIMITED TO MAXIMUM 15% OF TOTAL PERMITTED BUILDING AREA. MAXIMUM BUILDING COVERAGE NOT TO EXCEED 50% (INCLUDING PARKING STRUCTURE).
SETBACKS:	ZONING BOUNDARY R-13B: FRONT YARD: 40 FEET. (NO PARKING OR CIRCULATION AREAS PARALLEL TO STREET PERMITTED IN THIS REQUIRED FRONT YARD.) SIDE YARD: 30 FEET. REAR YARD: 60 FEET. ZONING BOUNDARY R-14: FRONT YARD: AT LEAST 100' R.O.W. REQUIRES A 100' BUILDING LINE (PARKING ALLOWED IN FRONT YARD BEHIND 40' LANDSCAPE SETBACK) LESS THAN 100' R.O.W. REQUIRES A 40' BUILDING LINE (PARKING ALLOWED IN FRONT YARD BEHIND 40' LANDSCAPE SETBACK). SIDE YARD: 25 FEET. REAR YARD: 40 FEET.
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SITE DATA TABLE - WYNDHAM DATA CENTER

CURRENT ZONING:	PD, PLANNED DEVELOPMENT, ORDINANCE NO. 2587-A ZONING BOUNDARY R-13B ZONING BOUNDARY R-14
LOT AREA:	LOT 1C: 513,536 SF = 11.79 AC
BUILDING GSF:	BUILDING 1: OFFICE: 5,760 GSF; WAREHOUSE: 114,688 GSF BUILDING 2: DATA CENTER: 18,300 GSF TOTAL: 138,748 GSF BUILDING 1 - ONE STORY HEIGHT: 25 FT. BUILDING 2 - ONE STORY HEIGHT: 24 FT.
FLOOR AREA RATIO:	ALLOWED: ZONING BOUNDARY R14 - 4.51 AC @ 1.5:1 = 294,683 SF ZONING BOUNDARY R13B - 7.28 AC @ 0.4:1 = 126,847 SF COMPOSITE - 11.79 AC @ 0.82:1 = 421,530 SF ACTUAL: 138,748 / 513,536 = 0.27:1
PARKING:	RATIO: OFFICE - 1:300 GSF; WAREHOUSE / DATA PROCESSING - 1:1000 GSF REQUIRED: 5760 / 300 = 19 SPACES (OFFICE); 132988 / 1000 = 133 SPACES (WAREHOUSE/DATA) TOTAL = 152 SPACES PROVIDED: TOTAL = 155 SPACES
LANDSCAPE REQUIREMENTS:	REQUIRED: 15% OF 77,036 SF (1,177 AC) PROVIDED: 40% OF 206,122 SF (4,73 AC)

VAR 11-05 permits a 2'-0" Ameristar gauntlet extension to the top of the 6' high masonry screening wall along the eastern property line and permits an 8' high wrought-iron Ameristar-style fence in lieu of the required 6-foot masonry screening wall along the south property line where adjacent to Fire Station No. 5.

Drawing Issue & Revision Status

REV#	DATE	DRAWN BY	ISSUE
A	06/13/2011	BMS	PRESUBMITTAL
B	06/20/2011	BMS	FINAL PACKAGE
C	07/05/2011	BMS	CITY SUBMITTAL
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E	07/29/2011	BMS	FINAL DEV. SUBMITTAL
F	08/11/2011	BMS	REV. FINAL DEV. SUBMTL.

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 www.idgroupae.com

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 BRIAN M. SATAGAJ 107708
 NAME P.E. NO.
 DATE 08-11-2011
 TBPE FIRM # F-312

Bank of America
 WTX WYNDHAM DATA CENTER
 LOT 1C, BLOCK A
 GALATYN PARK NORTH
 3510 WYNDHAM LANE
 RICHARDSON, TX 75082

SHEET NAME: CONCEPT PLAN (SHEET 2 OF 2)

IDG Prj. No. 1031101	ISSUE DATE: 08/11/2011
HAI AVO No. 28164	SHEET NUMBER: C0.05
CHECKED BY:	

BENCHMARKS
C.O.R. MONUMENT N-10: ALUMINUM DISK IN CENTERLINE MEDIAN AT THE EAST ABUTMENT OF THE BRIDGE OVER SPRING CREEK, 800 FT. EAST OF U.S. 75. ELEV.=587.938
C.O.R. MONUMENT M-23: ALUMINUM DISK IN THE SOUTHEAST CORNER OF PARKING LOT ON TOP OF CURB AT NORTHEAST CITY PARK OFFICE. ELEV.=525.000

PROPERTY OWNER: BRACEBRIDGE CORPORATION
 101 N. TYRON ST.
 CHARLOTTE, NC 28255-0001
BUILDING OWNER: BANK OF AMERICA
 1025 ELM STREET, 9TH FLOOR
 MAIL CODE: TX1-944-09-05
 DALLAS, TX 75202-3113

GENERAL NOTES:
 1. UPDATED CONCEPTUAL SITE PLAN BASED ON CONCEPTUAL SITE PLAN PREPARED BY KIMLEY-HORN & ASSOCIATES, INC., DATED FEB. 2011.
 2. CONCEPTUAL SITE PLAN NOT INTENDED FOR CONSTRUCTION. PLAN SUBMITTAL PACKAGE TO BE SUBMITTED TO CITY OF RICHARDSON FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

CITY OF RICHARDSON
 VOL. 1422, PG. 497
 D.R.C.C.T.

Agenda

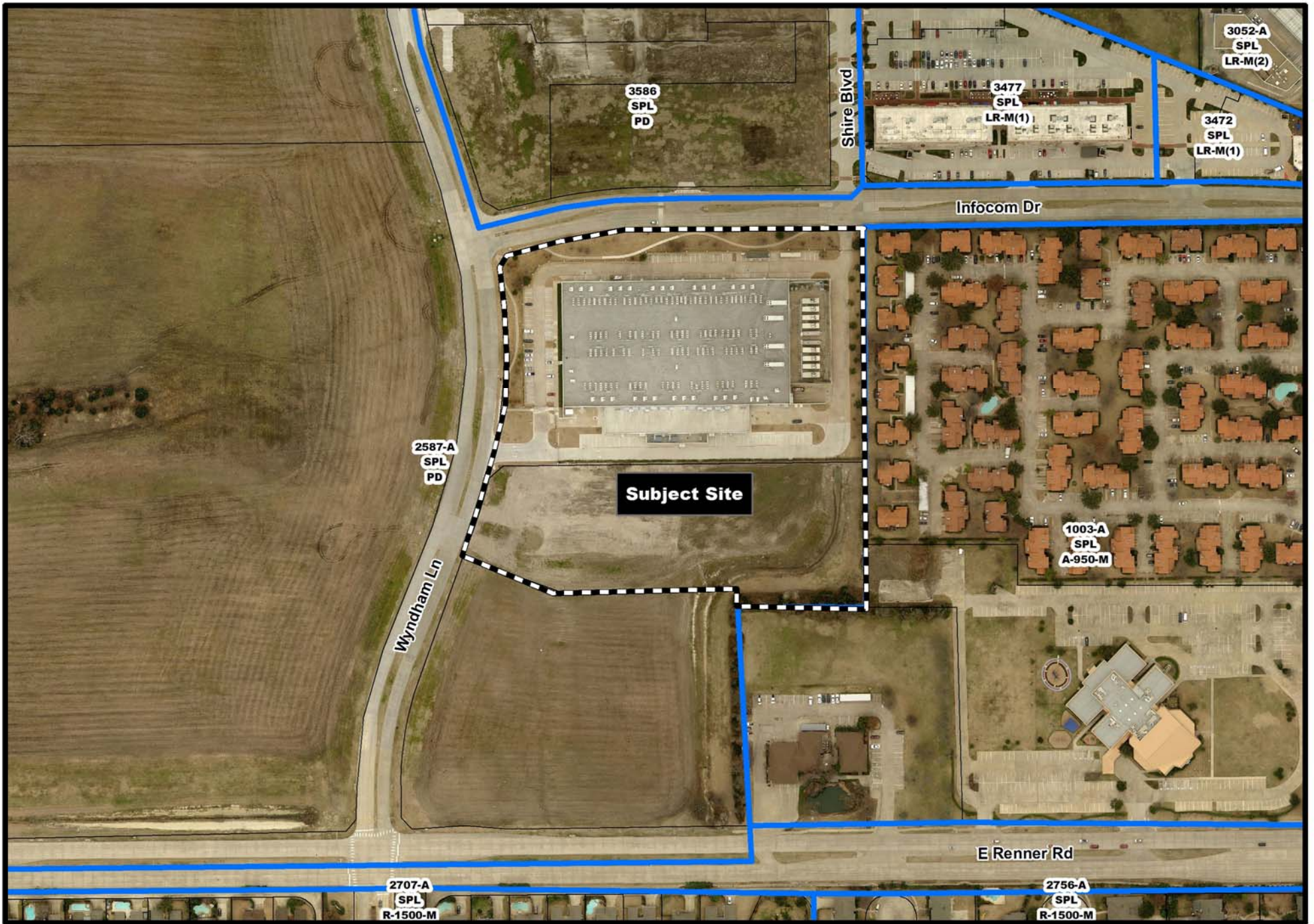
Item 3

Bank of America Data Center

(Companion to agenda items No. 2: Revised Concept Plan for Galatyn Park North, and;
No. 5: Replat of the Galatyn Park North Addition)

Attachments:

1. Locator
2. Revised site plan staff report
3. Revised site plan
4. Revised landscape plan staff report
5. Revised landscape plan
6. Building elevations staff report
7. Building elevations



**Bank of America Data Center: 3510 Wyndham Lane
Lot 1C, Block A of the Galatyn Park North Addition**



**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

Revised Site Plan

PROJECT SUMMARY

Project:	Bank of America Data Center 3510 Wyndham
Staff Comments:	The purpose of the site plan is to reflect the development of a 18,300 square foot building at the existing Bank of America Data Center. The site plan complies with all applicable city zoning and development regulations.
CPC Action:	Final decision

BACKGROUND

Legal Description:	<i>Lot 1C, Block A of the Galatyn Park North Addition</i>
Tract Size:	11.79-acres (513,536 square feet)
Zoning: Ordinance:	PD Planned Development District 2587-A (Tracts R-13B & R-14)
Variances:	VAR 11-05 permits a two foot metal extension to a six foot high masonry screening wall along the eastern property line adjacent to the apartment community, and a six foot high wrought iron fence along the southern property line adjacent to Fire Station No. 5/Police sub-station
Building Area/Use: Existing (Building 1) Proposed (Building 2)	Office/data center 120,488 square feet 18,300 square feet
Site Access:	The existing driveways to Wyndham Lane and Infocom Drive will remain.

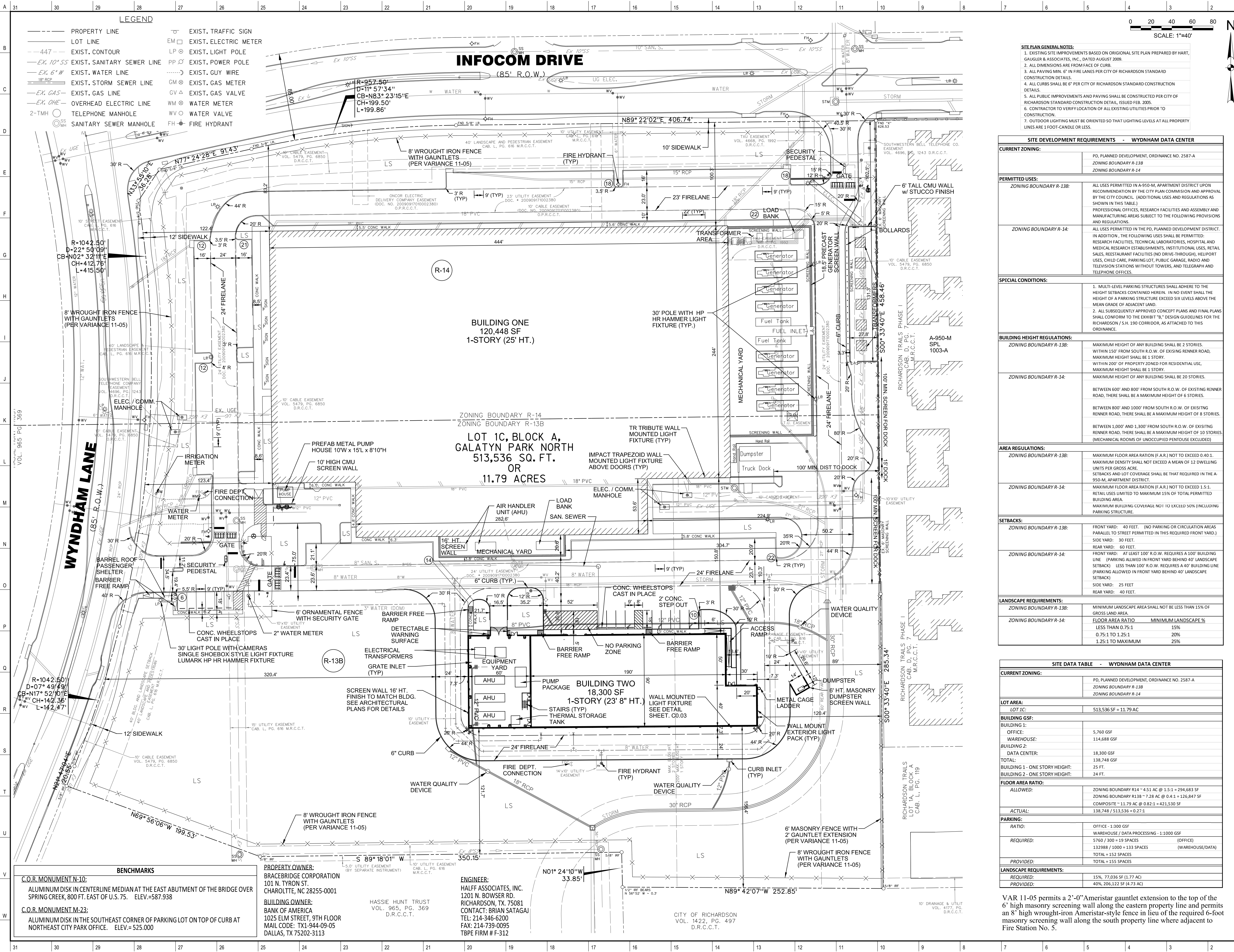
Parking Summary:

<i>Parking Ratios</i>	1/1000 data center 1/300 office
<i>Spaces Required</i>	152 spaces required
<i>Spaces Provided</i>	155 spaces provided

Required Wall/Screen:

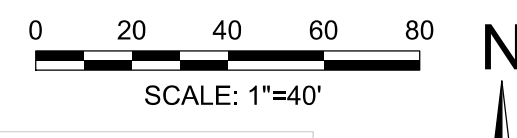
The existing six foot high masonry screening wall with a two foot metal extension will remain along the eastern property line.

In accordance with City regulations, a sixteen foot high masonry screening wall will surround the mechanical area of the proposed building. The façade of proposed building and screening wall of the mechanical yard will be finished to match the architectural style of existing building 1.

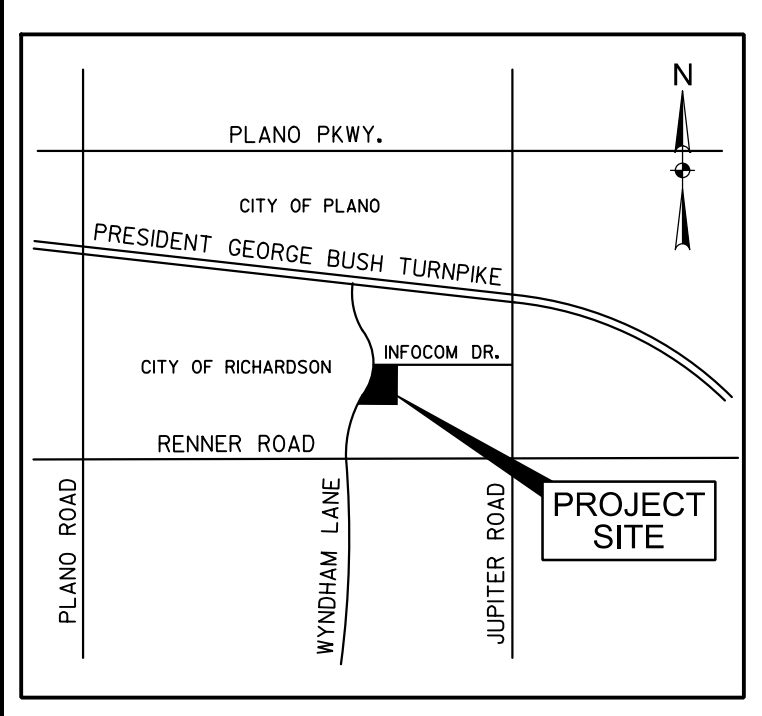


LEGEND

- PROPERTY LINE
- LOT LINE
- - - 447 - - - EXIST. CONTOUR
- - - EX. 10" S.S. EXIST. SANITARY SEWER LINE
- - - EX. 6" W EXIST. WATER LINE
- - - EX. 18" RCP EXIST. STORM SEWER LINE
- - - EX. GAS - - - EXIST. GAS LINE
- - - EX. OHE - - - OVERHEAD ELECTRIC LINE
- 2-TMH TELEPHONE MANHOLE
- EXIST. TRAFFIC SIGN
- EXIST. ELECTRIC METER
- EXIST. LIGHT POLE
- EXIST. POWER POLE
- EXIST. GUY WIRE
- EXIST. GAS METER
- EXIST. GAS VALVE
- WATER METER
- WATER VALVE
- FIRE HYDRANT



HALFF
 1201 NORTH BOWSER ROAD
 RICHARDSON, TEXAS 75081-2275
 TEL: (214) 346-6200
 FAX: (214) 739-0095
 TBP# FIRM # F-312



LOCATION MAP
 N.T.S.
 MAPSCO 86

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 BRIAN M. SATAGAJ 107708
 NAME P.E. NO.
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 TBP# FIRM # F-312

Bank of America
 WTX WYNDHAM DATA CENTER
 LOT 1C, BLOCK A
 GALATYN PARK NORTH
 3510 WYNDHAM LANE
 RICHARDSON, TX 75082

SHEET NAME: SITE PLAN

IDG Prj. No. 1031101	ISSUE DATE: 08/11/2011
HAI AVO No. 28164	SHEET NUMBER: C0.02
CHECKED BY:	

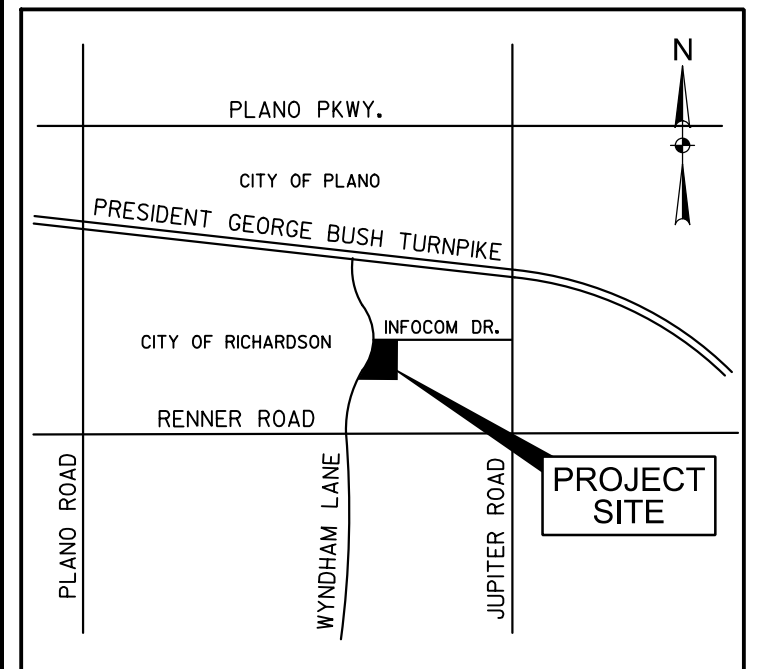
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 101 N. TYRON ST.
 CHARLOTTE, NC 28255-0001
BUILDING OWNER:
 BANK OF AMERICA
 1025 ELM STREET, 9TH FLOOR
 MAIL CODE: TX1-944-09-05
 DALLAS, TX 75202-3113

ENGINEER:
 HALFF ASSOCIATES, INC.
 1201 N. BOWSER RD.
 RICHARDSON, TX 75081
 CONTACT: BRIAN SATAGAJ
 TEL: 214-346-6200
 FAX: 214-739-0095
 TBP# FIRM # F-312

HASSIE HUNT TRUST
 VOL. 965, PG. 369
 D.R.C.C.T.

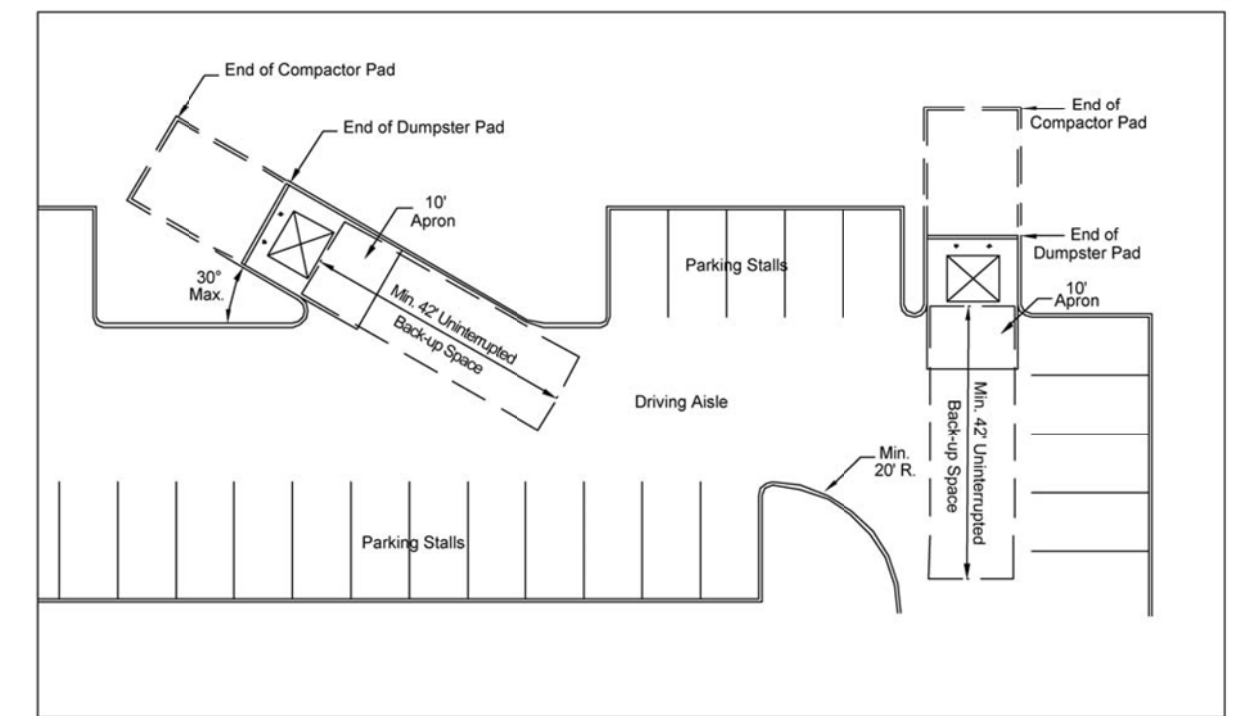
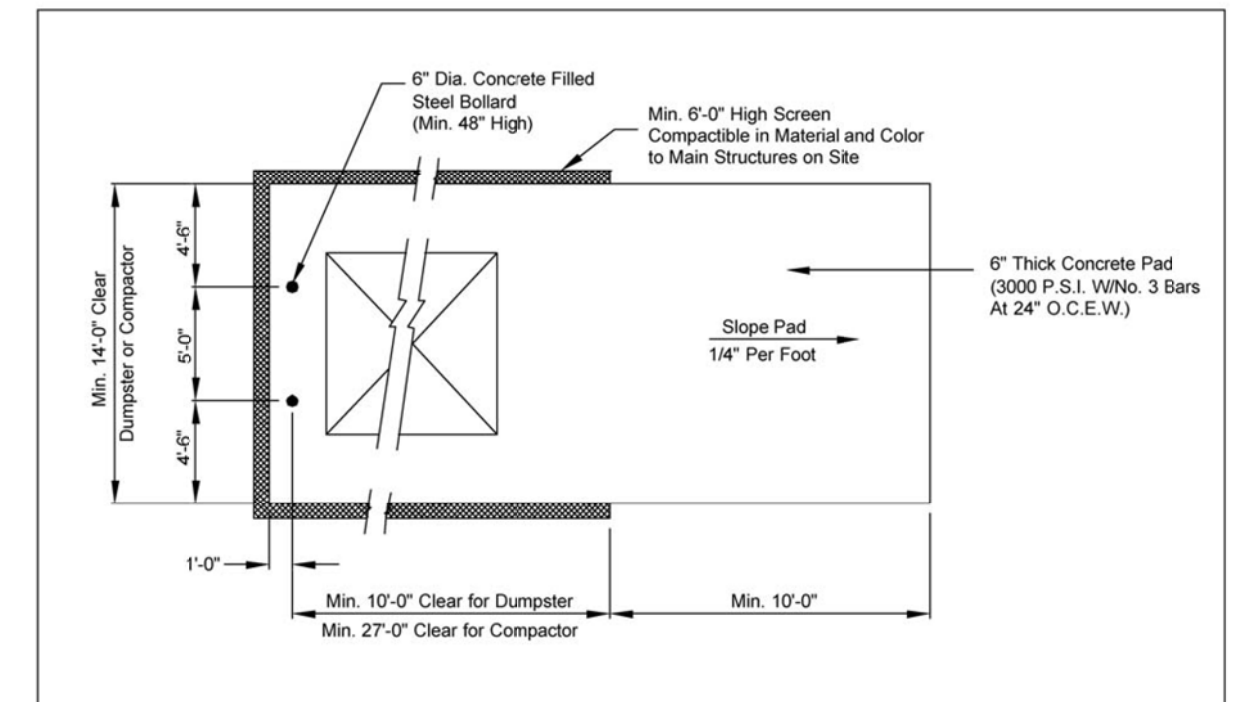
CITY OF RICHARDSON
 VOL. 1422, PG. 497
 D.R.C.C.T.



LOCATION MAP
 N.T.S.
 MAPSCO 8G

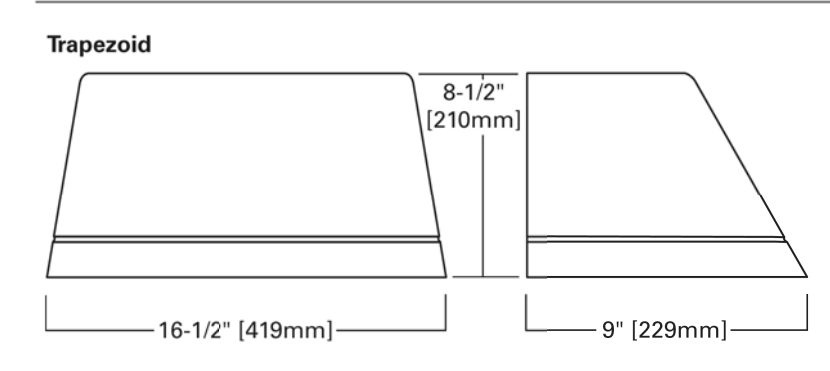
Dumpster/Compactor Requirements (cont'd)

Dumpster/Compactor Pad Detail

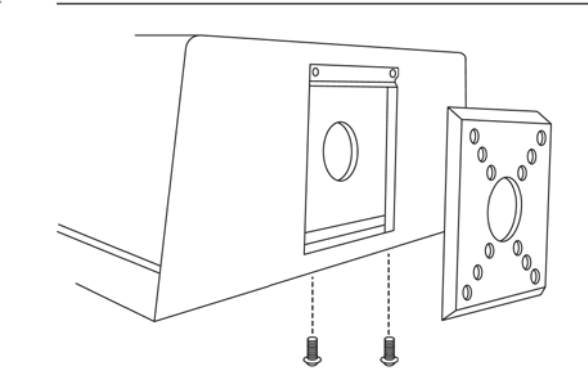


Revised: February 2002

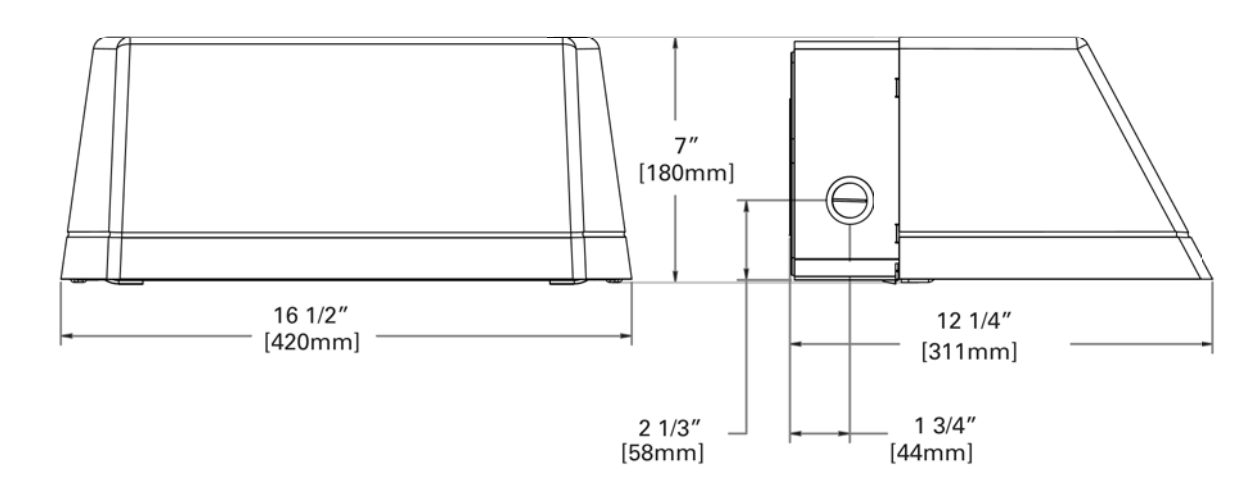
STANDARD DIMENSIONS



HOOK-N-LOCK MOUNTING



STANDARD DIMENSIONS WITH BACK BOX



SITE LIGHTING DETAIL
 N.T.S.

Drawing Issue & Revision Status

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PROJECT TITLE & ADDRESS:
Bank of America
 WTX WYNDHAM DATA CENTER
 LOT 1C, BLOCK A
 GALATYN PARK NORTH
 3510 WYNDHAM LANE
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SHEET NAME:
SITE PLAN DETAILS
 IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011
 HAI AVO No. 28164 SHEET NUMBER:
C0.03
 CHECKED BY:

**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

Landscape Plan

PROJECT SUMMARY

Project:	Bank of America Data Center 3510 Wyndham
Staff Comments:	The design is consistent with City regulations, policies, and the provisions of VAR 11-05
CPC Action:	Final decision

BACKGROUND

Landscape Area Summary:

<i>Area Required</i>	15% of property (77,036 square feet)
<i>Area Provided</i>	40% of property (206,122 square feet)

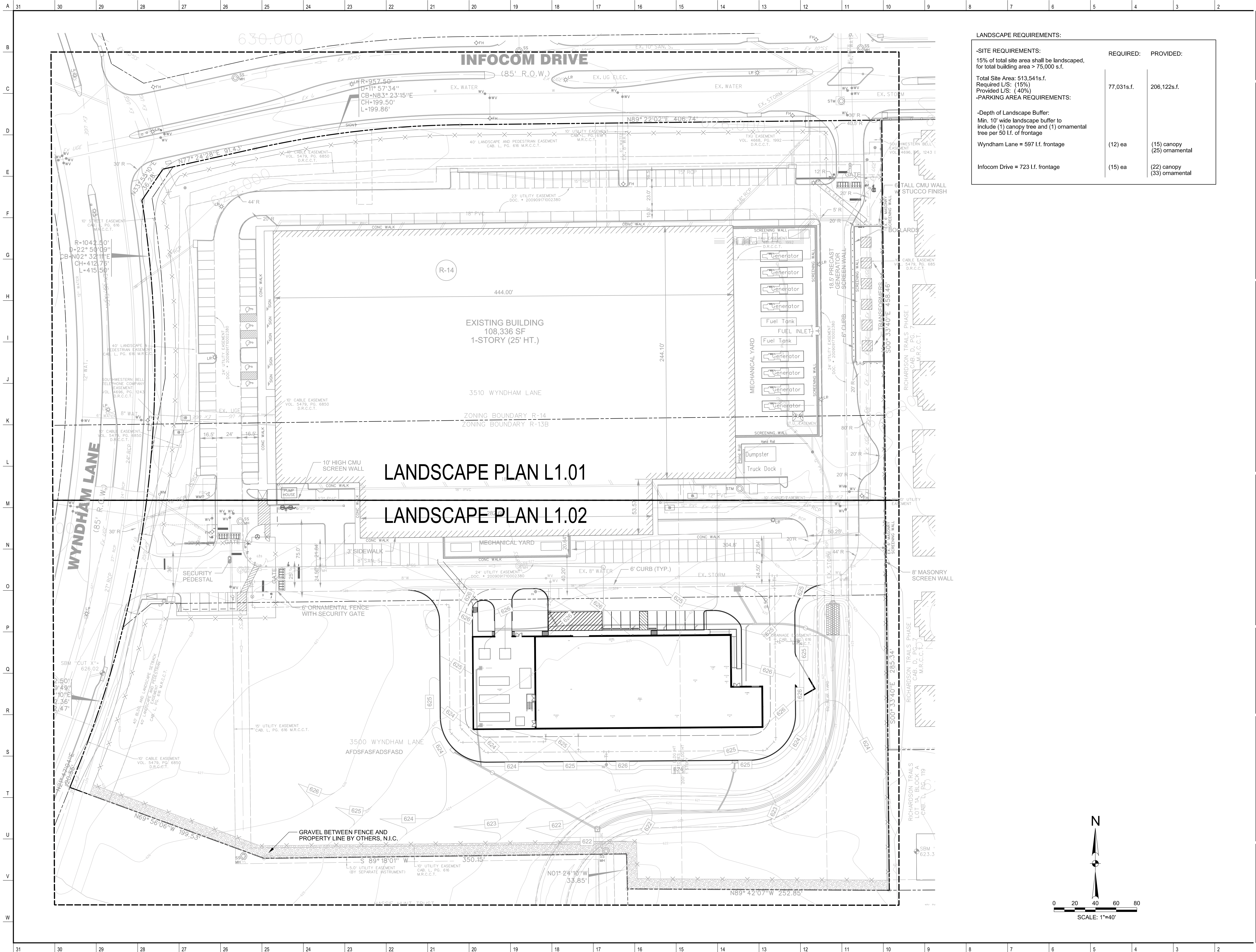
Landscape Design:

The proposed landscape plan reflects the development of a proposed 18,300 square foot building at the existing Bank of America data center that meets City regulations and VAR 11-05.

VAR 11-05 approved a two foot extension to the existing six foot high masonry wall along the eastern property line and an eight foot wrought iron fence along the southern property line where the site is adjacent to Fire Station No. 5/Police sub-station. As required by the provision of VAR 11-05, the applicant must install Eastern Red Cedars along the southern property line if any trees were to be removed with the installation of the eight foot high wrought iron fence. In May 2011, a revised landscape plan reflecting the installation of the new fencing, in accordance with VAR 11-05, was approved by the City Plan Commission, with the installation of the Eastern Red Cedars being deferred until such time that the southern portion of the property develops. As an element of this revised plan, the applicant is installing nine (9) Eastern Red Cedars to mitigate the eight (8) trees removed along the southern property line for the installation of the security fencing.

Along Wyndham Lane, the plan reflects the installation of a landscape berm with supplemental canopy and ornamental trees, in accordance with City policies.

Along the eastern property line, a double row of canopy trees, similar to the design that is established on the northern portion of the site has been extended to the southern property line. These trees provide additional screening of this site from the adjacent residential neighborhood.



LANDSCAPE REQUIREMENTS:

-SITE REQUIREMENTS: 15% of total site area shall be landscaped, for total building area > 75,000 s.f.	REQUIRED:	PROVIDED:
Total Site Area: 513,541s.f. Required L/S: (15%) Provided L/S: (40%)	77,031s.f.	206,122s.f.
-PARKING AREA REQUIREMENTS: -Depth of Landscape Buffer: Min. 10' wide landscape buffer to include (1) canopy tree and (1) ornamental tree per 50 l.f. of frontage		
Wyndham Lane = 597 l.f. frontage	(12) ea	(15) canopy (25) ornamental
Infocom Drive = 723 l.f. frontage	(15) ea	(22) canopy (33) ornamental

HALFF
1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081-2275
TEL (214) 346-6200
FAX (214) 739-0895
TPE FIRM # F-312

LOCATION MAP
N.T.S.
MAPSCO 86

Drawing Issue & Revision Status

REV#	DATE	DRAWN BY	ISSUE
A	06/13/2011	HALFF	PRESUBMITTAL
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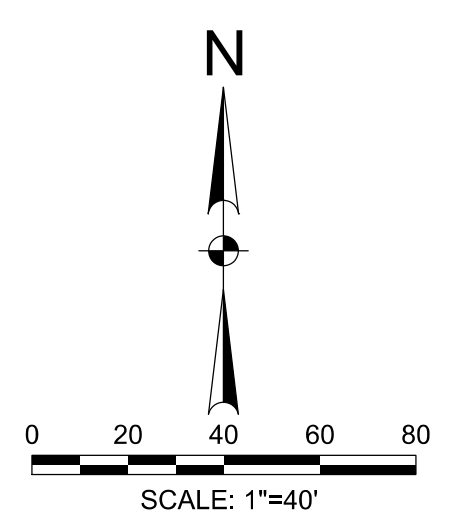
Bank of America

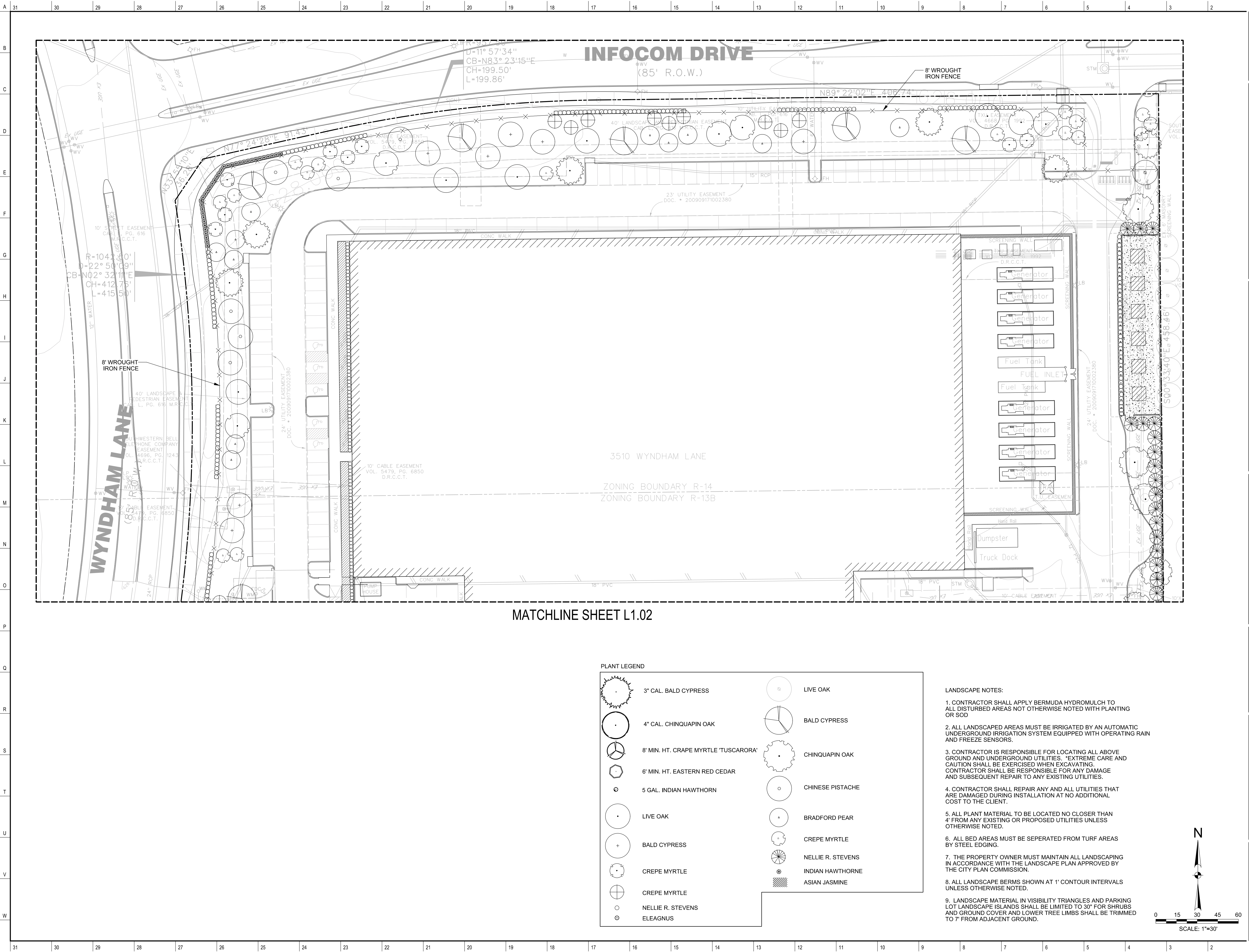
PROJECT TITLE & ADDRESS:
Bank of America
WTX WYNDHAM DATA CENTER
LOT 1C, BLOCK A
GALATYN PARK NORTH
3510 WYNDHAM LANE
RICHARDSON, TX 75082

SHEET NAME:
**LANDSCAPE EXHIBIT
KEY SHEET**

IDG Prj. No. 1031101
HAI AVO No. 28164
CHECKED BY: JDB KLD

ISSUE DATE: 08/11/2011
SHEET NUMBER:
L1.00



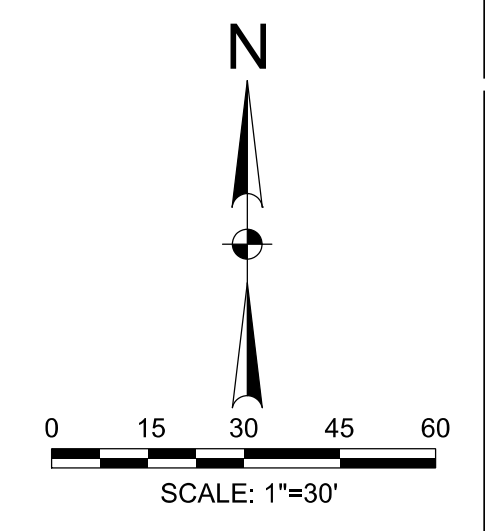


MATCHLINE SHEET L1.02

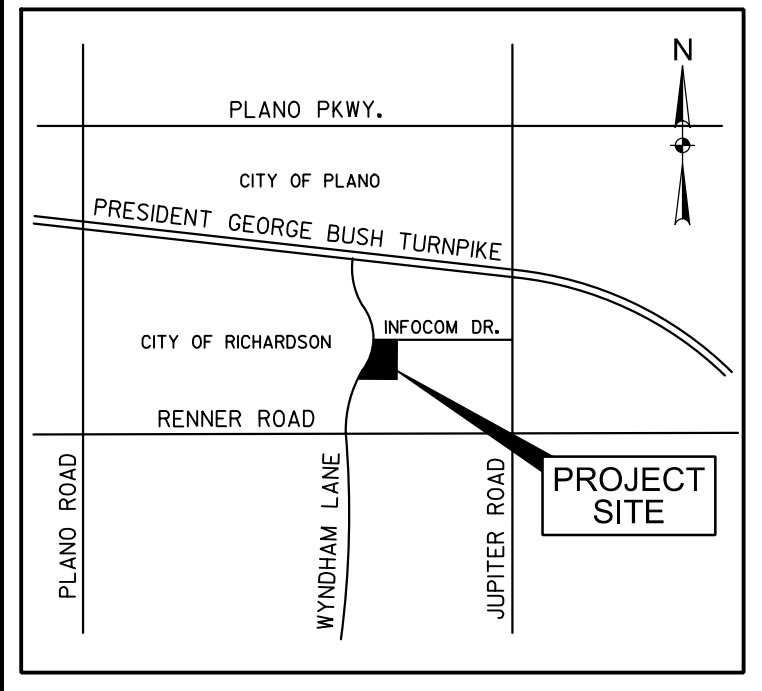
PLANT LEGEND

	3" CAL. BALD CYPRESS		LIVE OAK
	4" CAL. CHINQUAPIN OAK		BALD CYPRESS
	8" MIN. HT. CRAPE MYRTLE 'TUSCARORA'		CHINQUAPIN OAK
	6" MIN. HT. EASTERN RED CEDAR		CHINESE PISTACHE
	5 GAL. INDIAN HAWTHORN		BRADFORD PEAR
	LIVE OAK		CREPE MYRTLE
	BALD CYPRESS		NELLIE R. STEVENS
	CREPE MYRTLE		INDIAN HAWTHORNE
	CREPE MYRTLE		ASIAN JASMINE
	NELLIE R. STEVENS		
	ELEAGNUS		

- LANDSCAPE NOTES:**
- CONTRACTOR SHALL APPLY BERMUDA HYDROMULCH TO ALL DISTURBED AREAS NOT OTHERWISE NOTED WITH PLANTING OR SOD
 - ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL ABOVE GROUND AND UNDERGROUND UTILITIES. *EXTREME CARE AND CAUTION SHALL BE EXERCISED WHEN EXCAVATING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE AND SUBSEQUENT REPAIR TO ANY EXISTING UTILITIES.
 - CONTRACTOR SHALL REPAIR ANY AND ALL UTILITIES THAT ARE DAMAGED DURING INSTALLATION AT NO ADDITIONAL COST TO THE CLIENT.
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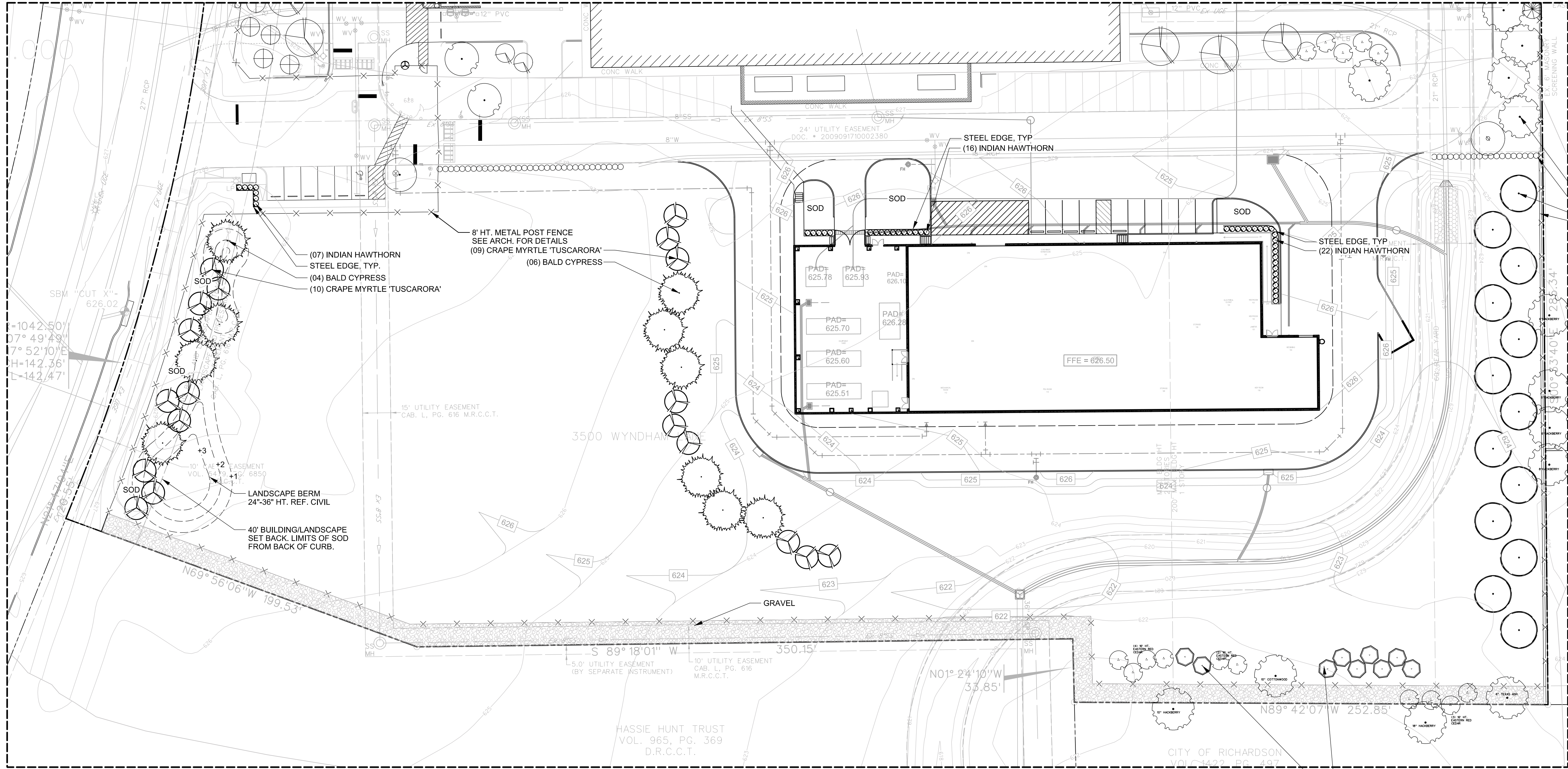
Integrated Design Group
 Integrated Design Group, Inc.
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 Irving, TX 75062
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 www.idgroupae.com

PROJECT TITLE & ADDRESS:
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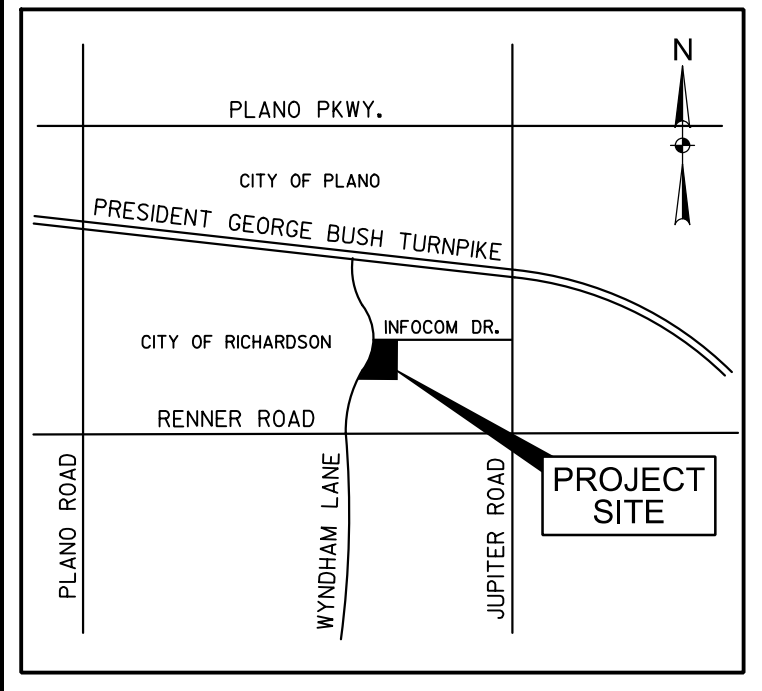
SHEET NAME:
LANDSCAPE EXHIBIT
 1 OF 2

IDG Prj. No. 1031101	ISSUE DATE: 08/11/2011
HAI AVO No. 28164	SHEET NUMBER: L1.01
CHECKED BY:	

MATCHLINE SHEET L1.01



EXISTING TREE, TYP.
 EXISTING SHRUBS, TYP.
 (13) CHINQUAPIN OAK
 6' HT. SCREEN WALL
 W/ 2' GAUNTLET
 REF. ARCH. FOR DETAILS



LOCATION MAP
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 MAPSCO 86

Drawing Issue & Revision Status

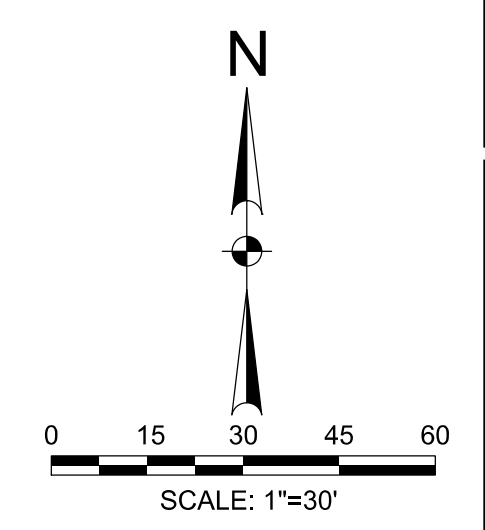
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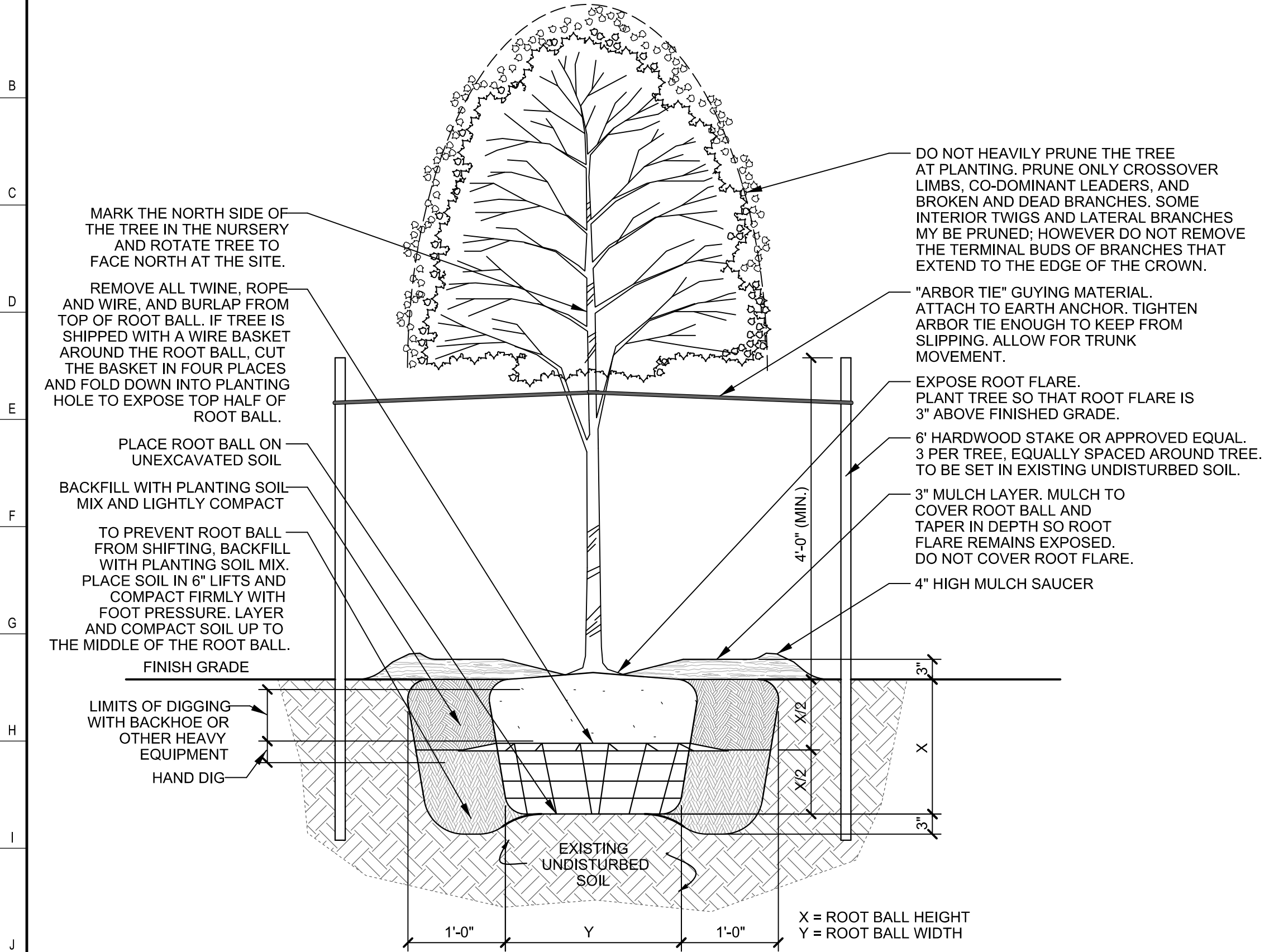


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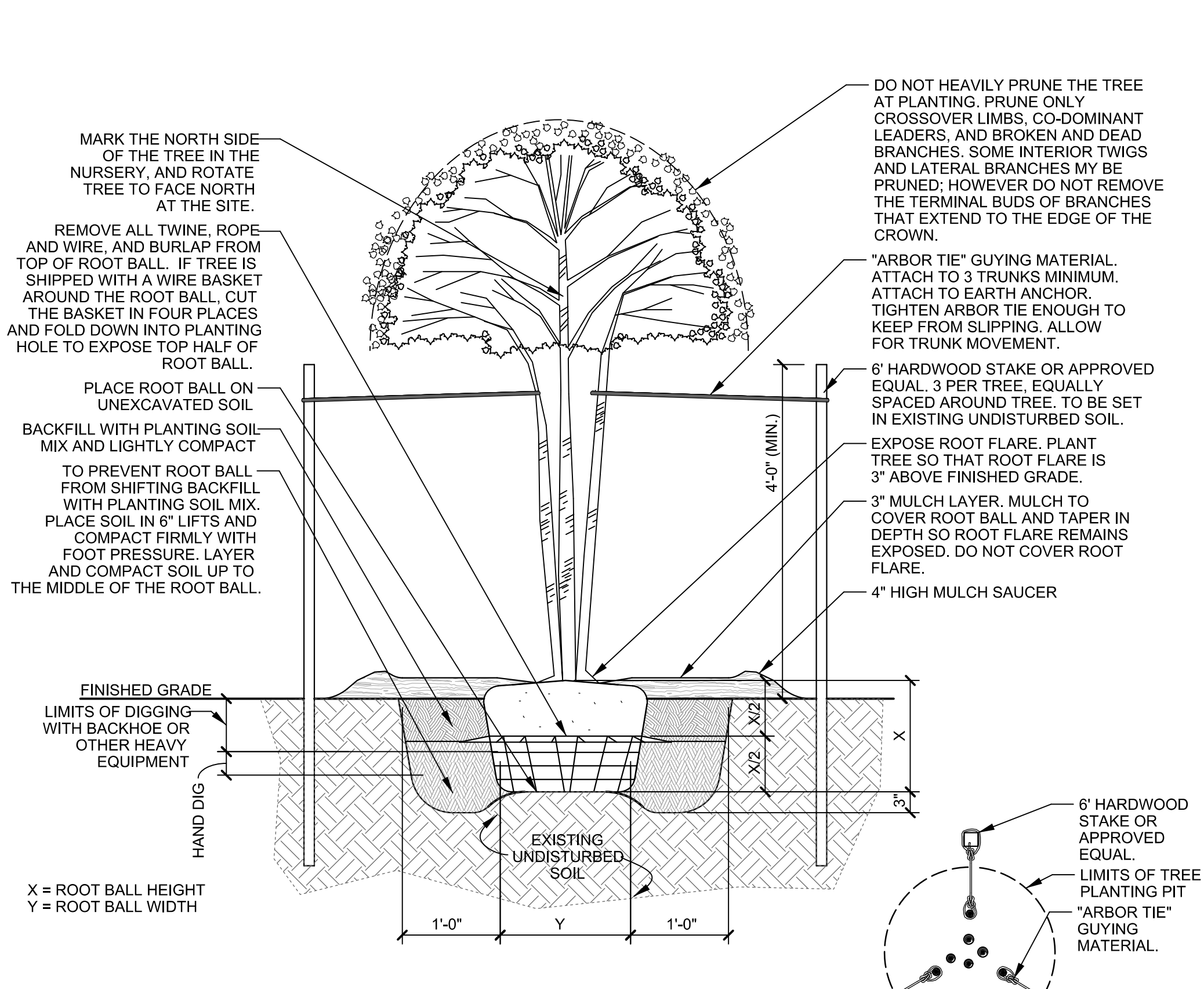
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 2 OF 2

IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011
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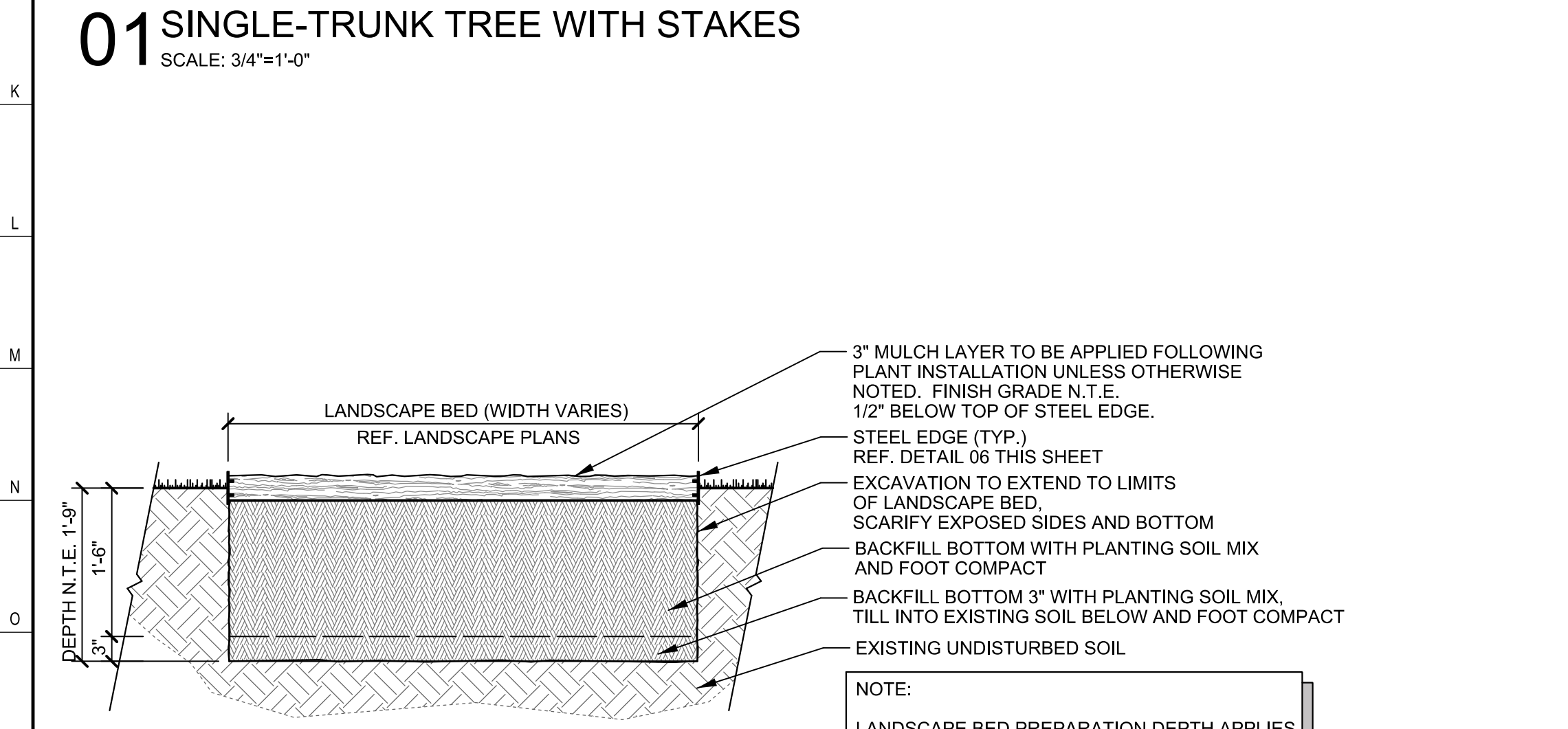
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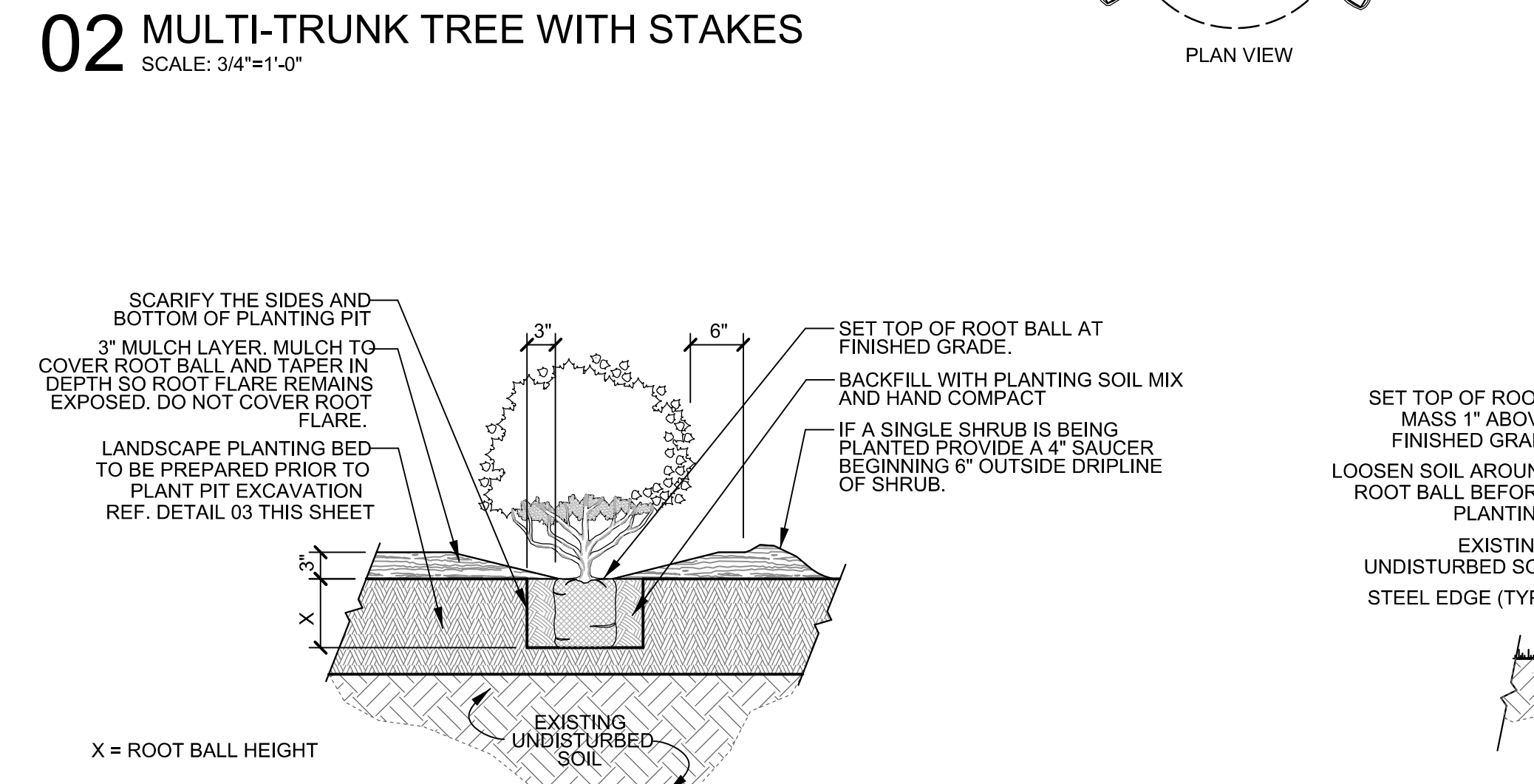
01 SINGLE-TRUNK TREE WITH STAKES
SCALE: 3/4"=1'-0"



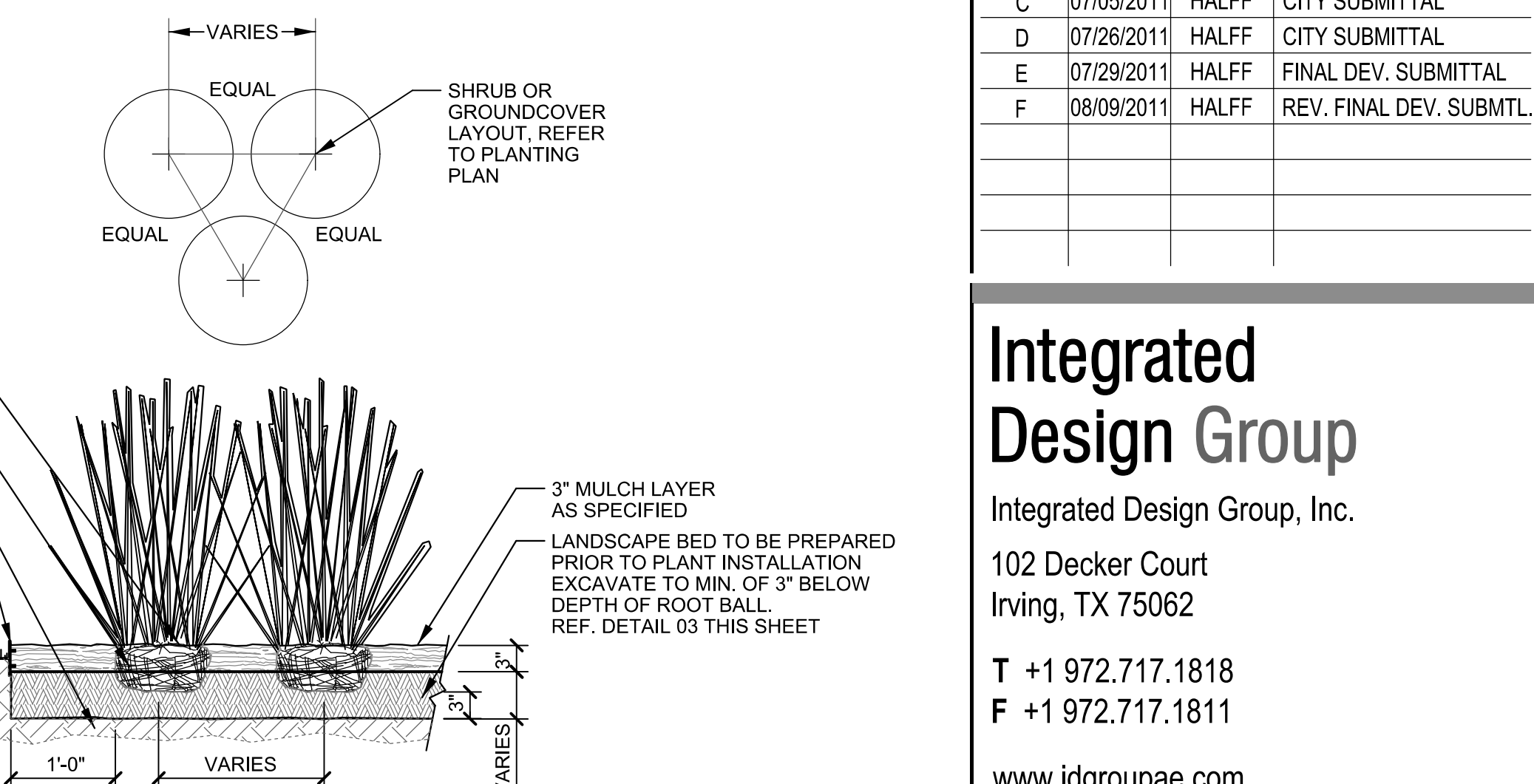
02 MULTI-TRUNK TREE WITH STAKES
SCALE: 3/4"=1'-0"



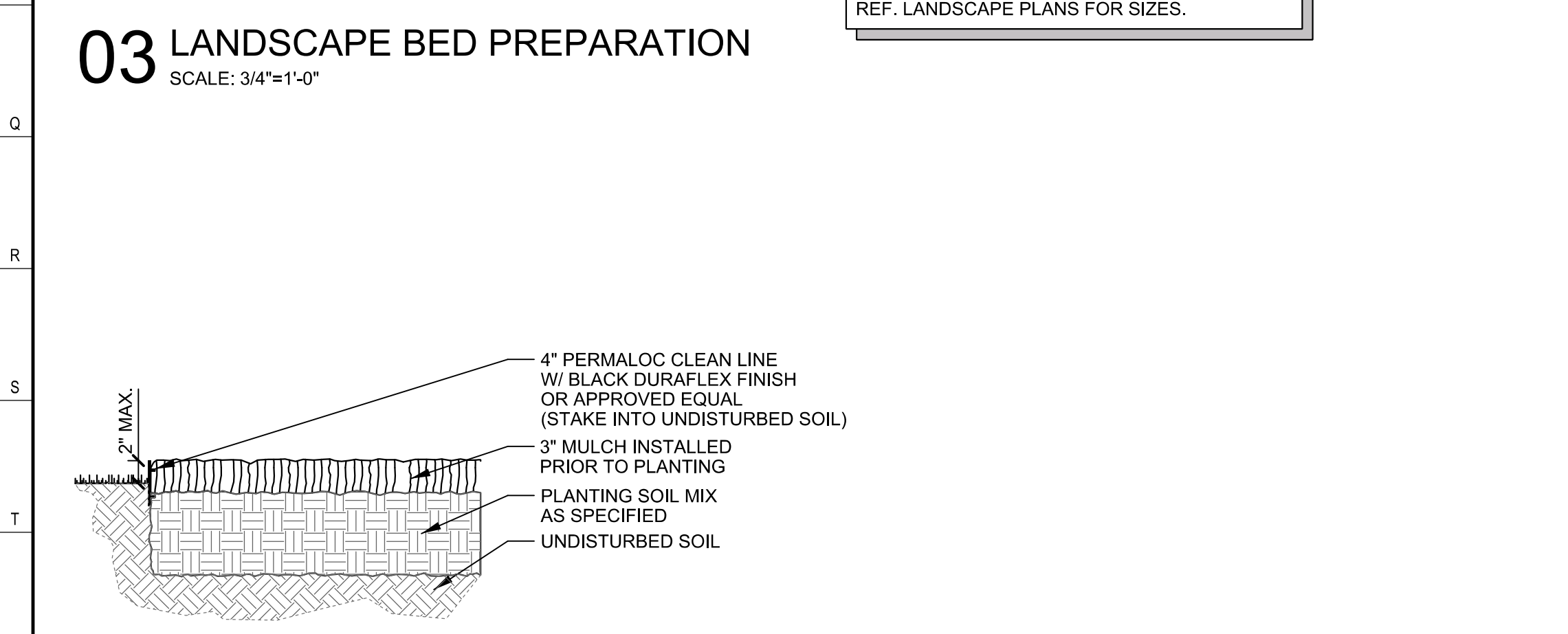
03 LANDSCAPE BED PREPARATION
SCALE: 3/4"=1'-0"



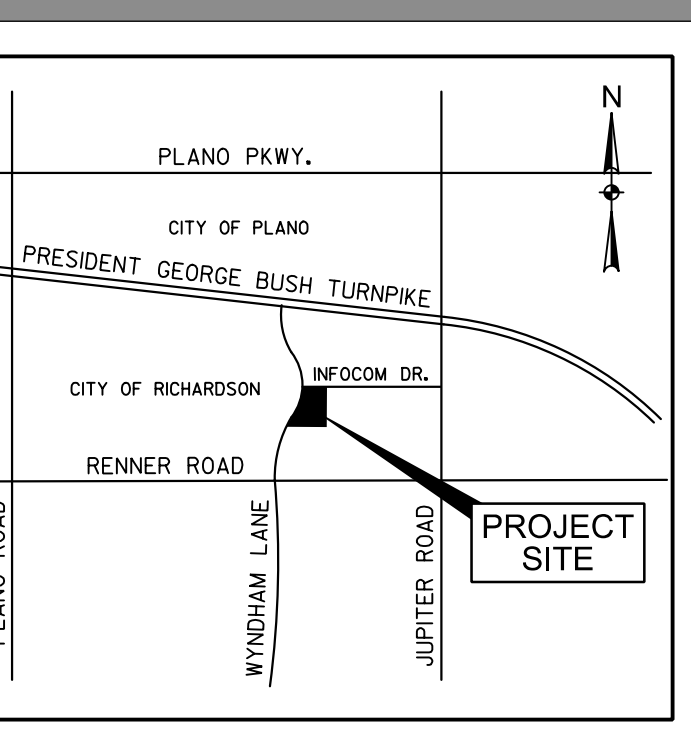
04 SHRUB PLANTING DETAIL
SCALE: 3/4"=1'-0"



05 ORNAMENTAL GRASS
SCALE: 3/4"=1'-0"



06 LANDSCAPE EDGE (TYP.)
SCALE: 3/4"=1'-0"



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IDG Prj. No. 1031101	ISSUE DATE: 08/11/2011
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CHECKED BY:

PLANTING SPECIFICATIONS

NOTE: All tree plantings to receive a Pro-active Micorrhizal treatment at time of planting and during "establishment" as specified by (Plant Health Care, Inc.) www.planthealthcare.com 1.800.421.9051

PREPARATION
LANDSCAPE CONTRACTOR AND REPRESENTATIVE OF OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

PLANT LOCATIONS
REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

GRADING AND DRAINAGE
Half Associates, Inc. ASSUMES NO RESPONSIBILITY FOR FAILURE OF ANY HARDSCAPE AMENITY SUCH AS WALKS, ENTRANCES TO STRUCTURES, AND PLANTER BEDS FORMED OR ENCLOSED BY EDGING AND FLAT WORK WHICH DO NOT DRAIN DUE TO IMPROPER SET UP OF ELEVATIONS DURING CONSTRUCTION. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING, AND VERIFYING THAT WATER DRAINS AWAY FROM BUILDING.

COORDINATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

MAINTENANCE
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

VERIFICATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

PLANTING BEDS
ALL BED AREAS ARE TO BE LEFT 3" ABOVE FINISHED GRADE OF ADJACENT PAVEMENT TO INCLUDE 3" OF MULCH AFTER COMPACTION AND SETTLEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO A DEPTH OF 6". ADDING PREPARED SOIL MIXTURE AS REQUIRED.

MULCH
AFTER SETTLEMENT AND COMPACTION. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM 3" LAYER OF MULCH. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND RE SEEDED.

PLANT MATERIAL STANDARDS
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS. LANDSCAPE ARCHITECT SHALL APPROVE ANY PLANT SUBSTITUTION.

PRUNING
ALL TREES ARE TO BE PRUNED AT TIME OF INSTALLATION TO REMOVE DEAD AND UNSIGHTLY LIMBS. ALL TREES ARE TO MATCH IN HEIGHT, SPREAD, AND CLEAR TRUNK, AND SHALL HAVE STRAIGHT TRUNKS.

PLANTING SOIL MIXTURE
50% SAND AND SOIL MIX (SEE DESCRIPTION BELOW)
50% BALANCED COMPOST (SEE DESCRIPTION BELOW)

SAND AND SOIL MIX DESCRIPTION:
SHARP SAND: SAND EXCAVATED FROM A MINIMUM OF 20 FEET BELOW GROUND LEVEL.
SCREENED NATIVE SOIL: WELL ADAPTED NATIVE SOIL FROM SOURCES A MAXIMUM DISTANCE OF 200 MILES FROM THE PROJECT SITE.

BALANCED COMPOST DESCRIPTION:
WELL-COMPOSTED, MANUFACTURED SOIL BLENDS
STABLE, AND WEED-FREE ORGANIC MATTER
PH RANGE OF 5.5 TO 8;
MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT
100 PERCENT PASSING THROUGH 1-INCH SIEVE
SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M
NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. PURELY EXCAVATED SOIL WILL NOT BE PERMITTED.
COMPOST CAN HAVE MATERIALS AS FOLLOWS:
1. WOOD DERIVATIVES: DECOMPOSED, NITROGEN-TREATED SAWDUST, GROUND BARK, OR WOOD WASTE; OF UNIFORM TEXTURE AND FREE OF CHIPS, STONES, STICKS, SOIL, OR TOXIC MATERIAL.
a. LUMBER, EITHER TREATED OR UNTREATED, PALLETS OR CONSTRUCTION WASTE WILL NOT BE PERMITTED AS A WOOD DERIVATIVE
2. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, DEBRIS, AND MATERIAL HARMFUL TO PLANT GROWTH
a. SEWAGE, SLUDGE, AND RAW MANURE WILL NOT BE PERMITTED
3. LANDSCAPE TRIMMINGS: DECOMPOSED GRASS, LEAVES, WOOD CHIPS, OR BRUSH; OF UNIFORM TEXTURE AND FREE OF STICKS, STONES, OR TOXIC MATERIAL
4. ADDITIONAL REQUIREMENTS:
a. DEVELOPED USING AN EXTENSIVE AEROBIC COMPOSTING PROCESS.
b. SCHEDULED TURNS WITH A MINIMUM OF 5 TURNS.
c. COMPLETELY COMPOSTED FOR A MINIMUM OF 6-12 MONTHS
d. ACHIEVES A SOLVITA® COMPOST MATURITY INDEX VALUE OF 7 OR HIGHER
e. MEET OR EXCEED THE TIME AND TEMPERATURE STANDARDS SET IN T.A.C. CHAPTER 332, SUBCHAPTER B, PART 23 AS REQUIRED BY THE TCEQ/TNRCC
f. MEET FEDERAL SPECIFICATION UNDER GUIDELINES OF 40 C.F.R., PART 503, STANDARDS FOR CLASS A BIOSOLIDS.
g. HAVE A HIGH CONCENTRATION OF AEROBIC COMPOSTED ORGANIC MATTER AS DETERMINED BY ASTM D-5268 AT 624 F.

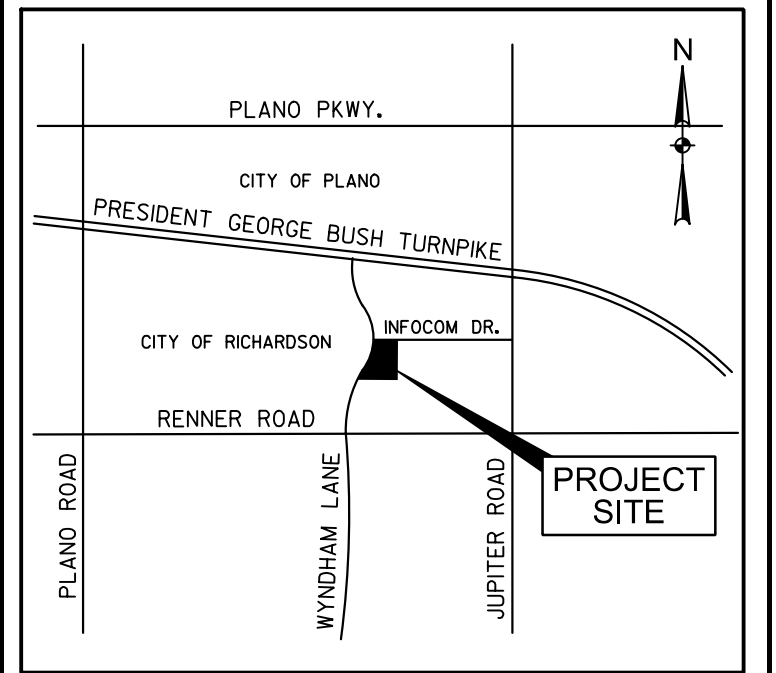
TREE SUPPORT
TREES SHALL BE SUPPORTED WITH THE APPROVED METHOD FOR A PERIOD OF ONE YEAR AT WHICH TIME THE OWNER SHALL DETERMINE IF REMOVAL IS NECESSARY.

WARRANTY
ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF ONE-YEAR FROM SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER.

IRRIGATION SYSTEM
IRRIGATION CONTRACTOR TO INSTALL NEW IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE FOR AFFECTED TURF AND BED AREAS.

PLANT SCHEDULE - WYNDHAM DATA CENTER							
QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	GENERAL NOTES
TREES							
10	Bald Cypress	<i>Taxodium distichum</i>	3" Cal.	10'-12'	8'-10'	As Shown	Nursery Grown, Full, Healthy, Well Formed, Straight Trunk
13	Chinquapin Oak	<i>Quercus muhlenbergii</i>	3" Cal.	10'-12'	8'-10'	As Shown	Nursery Grown, Full, Healthy, Well Formed, Straight Trunk
19	Crape Myrtle "Tuscaroora"	<i>Lagerstroemia indica 'Tuscaroora'</i>	3" Cal.	8'-10'	4'-6"	As Shown	M/T, 3 Cane Min/5 Cane Max, w/ Min. Cane Size no Smaller Than 1"
9	Eastern Red Cedar	<i>Juniperus virginiana</i>	3" Cal.	6'-8"	4'-6"	As Shown	Nursery Grown, Full, Healthy, Well Formed, Straight Trunk
SHRUBS							
45	Indian Hawthorn	<i>Raphiolepis indica</i>	5 Gal.	2'-4'	2'-4'	3' O.C.	Nursery Grown, Full, Healthy, Well Formed
GRASS SEED AND SOD							
	Bermuda Grass Sod	<i>Cynodon dactylon</i>		SOLID SOD			
	Bermuda Grass Hydromulch	<i>Cynodon dactylon</i>		SEED			

- GENERAL LAWN NOTES:
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR SHALL PROVIDE (2") TWO INCHES OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN. ADD LATERNATE
 - IMPORTED TOPSOIL SHALL BE NATURAL FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY OWNERS CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS ¾" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.

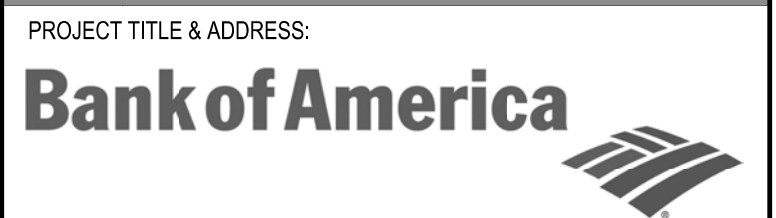


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**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

Building Elevations

PROJECT SUMMARY

Project: **Bank of America Data Center Expansion**
3510 Wyndham

Staff Comments: Since the site is zoned PD (Planned Development), façade elevations approval is required. The façade materials of the proposed 18,300 square foot building match the materials of the existing 120,448 square foot building, and the design complies with technical requirements for building material percentages.

CPC Action: **Final decision**

BACKGROUND

Ordinance requirements: As required per Ordinance No. 2587, the façade elevations of any development that is proposed for a property within the PD (Planned Development) must have elevation approval prior to construction.

Proposed Design:
Building Materials The proposed building facades reflect the development of an 18,300 square foot data center. The proposed building, and the sixteen foot high screening all that surrounds the utility area will be constructed of pre-cast concrete panels that match in color, style and finish of the existing 120,448 square foot building on the north side of the site.



GENERAL NOTES

A. BUILDING HEIGHT (HIGHEST ROOF POINT) = 23'-8" ABOVE FINISHED SLAB

CONSULTANT

KEY PLAN

0 1/4" 1/2" 1" 2"

IF THE BARSCALE DOES NOT READ ACCURATELY TO SCALE THE DRAWING SIZE HAS BEEN ALTERED. SIZE IS 24"X36"

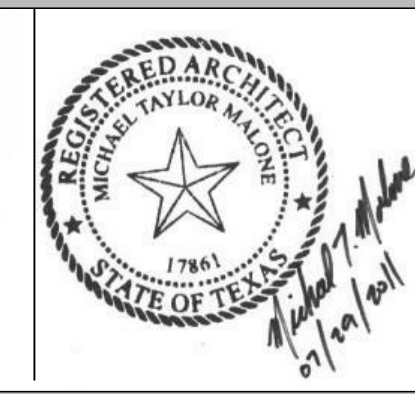
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Drawing Issue & Revision Status

REV#	DATE	DRAWN BY	ISSUE
A	06/13/11	RJB	PRESUBMITTAL
B	06/20/11	RJB	FINAL PACKAGE
C	07/05/11	RJB	CITY SUBMITTAL
D	07/26/11	MTM	CITY SUBMITTAL
E	07/29/11	RJB	FINAL DEV. SUBMITTAL

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 F +1 972.717.1811
 www.idgroupae.com



PROJECT TITLE & ADDRESS:

Bank of America

WTX
 3510 WYNDHAM LANE
 RICHARDSON, TX 75082

SHEET NAME:
BUILDING ELEVATIONS

1031101
 CHECKED BY: MM

SHEET NUMBER:
A200

Agenda

Item 4

Bank of America Data Center

(Companion to agenda item No. 6)

Attachments:

1. Locator
2. Revised site plan staff report
3. Revised site plan
4. Revised landscape plan
5. Revised landscape plan staff report



**Bank of America Data Center: 3000 Telecom Parkway
Lot 1D, Block B of the Shiloh Business Park Addition**



**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

Revised Site Plan

PROJECT SUMMARY

Project:	Bank of America Data Center 3000 Telecom Parkway
Staff Comments:	The purpose of the site plan is to reflect the development of a new 18,430 square foot building at the existing Bank of America Data Center. The site plan complies with all applicable City zoning and development regulations.
CPC Action:	Final decision

BACKGROUND

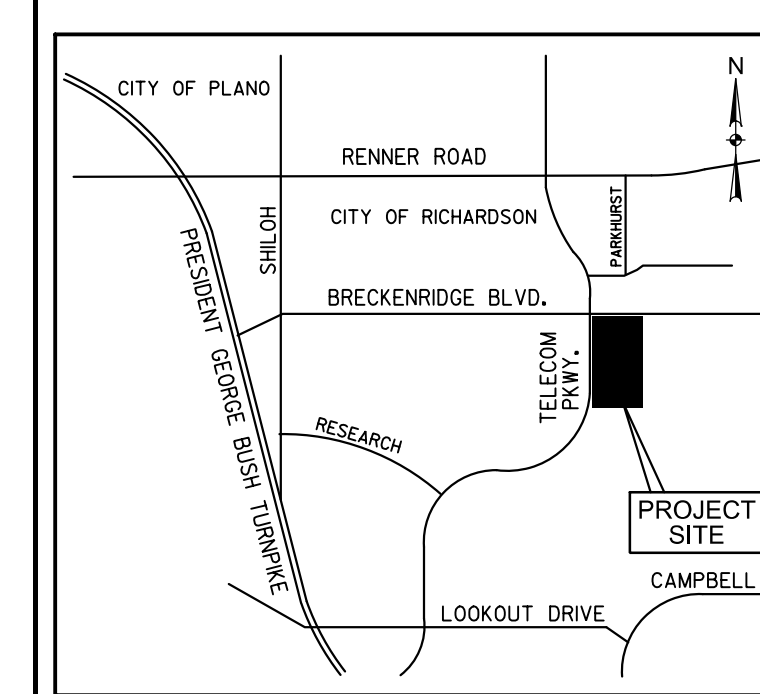
Legal Description:	Lot 1D, Block B of the Shiloh Business Park Addition
Tract Size:	19.94-acres (868,786 square feet)
Zoning:	I-M(1) Industrial District
Variances:	None
Building Area/Use:	Office/data center
Existing (Building 1)	132,784 square feet
Proposed (Building 2)	18,430 square feet
Site Access:	The existing driveways onto Telecom Parkway and Breckinridge Boulevard will remain.
Parking Summary:	
<i>Parking Ratios</i>	1/1000 data center 1/300 office
<i>Spaces Required</i>	222 spaces required
<i>Spaces Provided</i>	246 spaces provided

Required Wall/Screen:

The existing 6' tall masonry screening along the eastern property line will be extended south to the southern property line. The screening wall will be offset approximately 10' from the eastern property line to preserve the existing tree line and natural vegetation that separates the subject site from the existing residential neighborhood.

A 16' tall masonry screening wall will surround the mechanical area of the proposed data center and will be finished to match the façade of the proposed building.

BRECKINRIDGE BOULEVARD



LOCATION MAP
N.T.S.
MAPSCO 9K

Drawing Issue & Revision Status

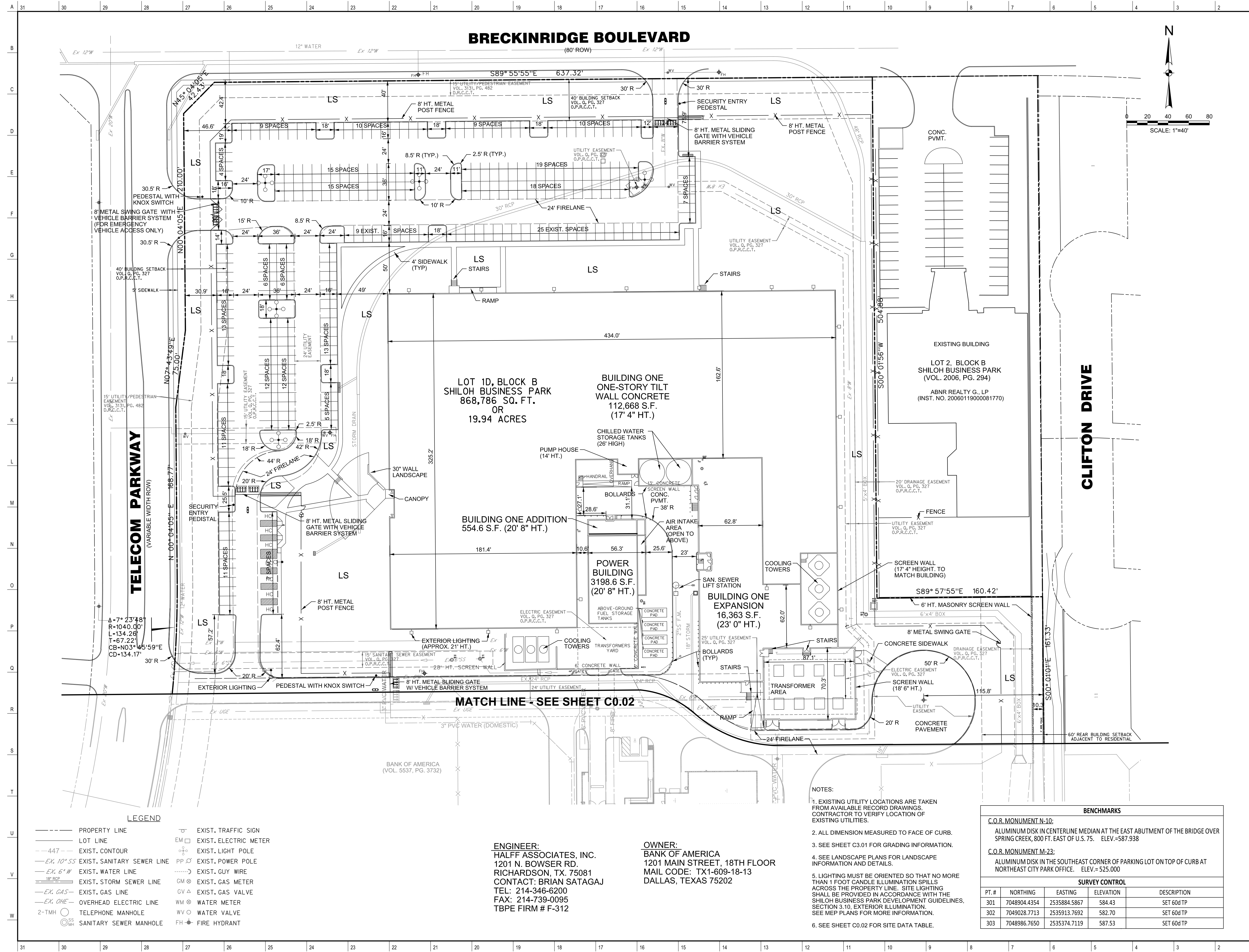
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BRIAN M. SATAGAJ 107708
NAME P.E. NO.
DATE 08-11-2011
TBPE FIRM # F-312

Bank of America
RTX RICHARDSON DATA CENTER
LOT 1D, BLOCK B
SHILOH BUSINESS PARK
3000 TELECOM PARKWAY
RICHARDSON, TX 75082

SHEET NAME:
NORTH SITE PLAN
IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011
HAI AVO No. 28165 SHEET NUMBER:
C0.01
CHECKED BY:



LOT 1D, BLOCK B
SHILOH BUSINESS PARK
868,786 SQ. FT.
OR
19.94 ACRES

BUILDING ONE
ONE-STORY TILT
WALL CONCRETE
112,668 S.F.
(17' 4" HT.)

BUILDING ONE ADDITION
554.6 S.F. (20' 8" HT.)

POWER BUILDING
3198.6 S.F.
(20' 8" HT.)

BUILDING ONE
EXPANSION
16,363 S.F.
(23' 0" HT.)

MATCH LINE - SEE SHEET C0.02

LEGEND

--- PROPERTY LINE	⊕ EXIST. TRAFFIC SIGN
--- LOT LINE	⊕ EXIST. ELECTRIC METER
- - - 447 - - - EXIST. CONTOUR	⊕ EXIST. LIGHT POLE
- - - EX. 10" S.S. EXIST. SANITARY SEWER LINE	⊕ EXIST. POWER POLE
- - - EX. 6" W EXIST. WATER LINE	⊕ EXIST. GUY WIRE
- - - EX. 18" RCP EXIST. STORM SEWER LINE	⊕ EXIST. GAS METER
- - - EX. GAS - EXIST. GAS LINE	⊕ EXIST. GAS VALVE
- - - EX. OHE - OVERHEAD ELECTRIC LINE	⊕ WATER METER
⊕ 2-TMH TELEPHONE MANHOLE	⊕ WATER VALVE
⊕ SANITARY SEWER MANHOLE	⊕ FIRE HYDRANT

ENGINEER:
HALFF ASSOCIATES, INC.
1201 N. BOWSER RD.
RICHARDSON, TX 75081
CONTACT: BRIAN SATAGAJ
TEL: 214-346-6200
FAX: 214-739-0095
TBPE FIRM # F-312

OWNER:
BANK OF AMERICA
1201 MAIN STREET, 18TH FLOOR
MAIL CODE: TX1-609-18-13
DALLAS, TEXAS 75202

- NOTES:**
- EXISTING UTILITY LOCATIONS ARE TAKEN FROM AVAILABLE RECORD DRAWINGS. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES.
 - ALL DIMENSION MEASURED TO FACE OF CURB.
 - SEE SHEET C3.01 FOR GRADING INFORMATION.
 - SEE LANDSCAPE PLANS FOR LANDSCAPE INFORMATION AND DETAILS.
 - LIGHTING MUST BE ORIENTED SO THAT NO MORE THAN 1 FOOT CANDLE ILLUMINATION SPILLS ACROSS THE PROPERTY LINE. SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE SHILOH BUSINESS PARK DEVELOPMENT GUIDELINES, SECTION 3.10, EXTERIOR ILLUMINATION. SEE MEP PLANS FOR MORE INFORMATION.
 - SEE SHEET C0.02 FOR SITE DATA TABLE.

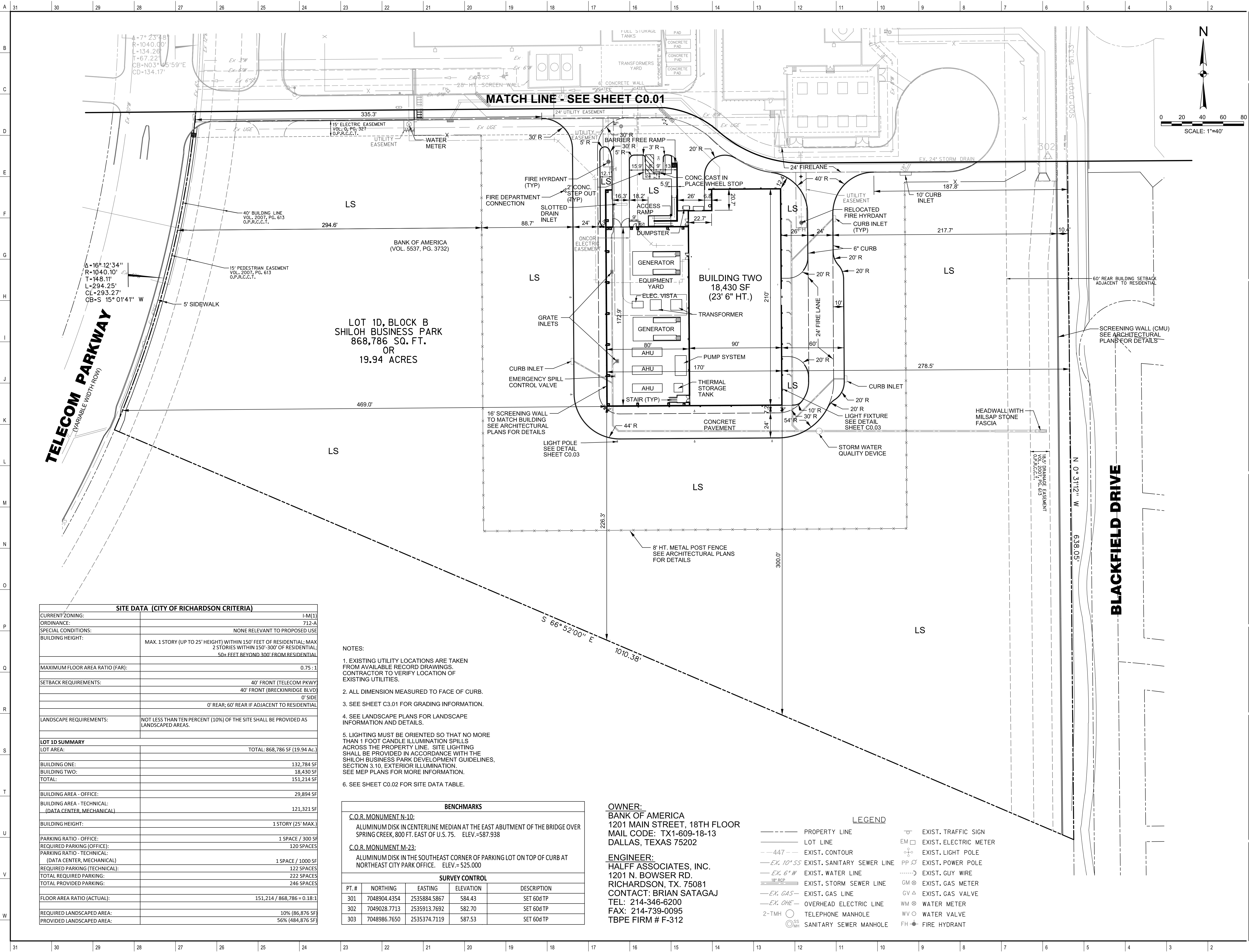
BENCHMARKS

C.O.R. MONUMENT N-10:
ALUMINUM DISK IN CENTERLINE MEDIAN AT THE EAST ABUTMENT OF THE BRIDGE OVER SPRING CREEK, 800 FT. EAST OF U.S. 75. ELEV.=587.938

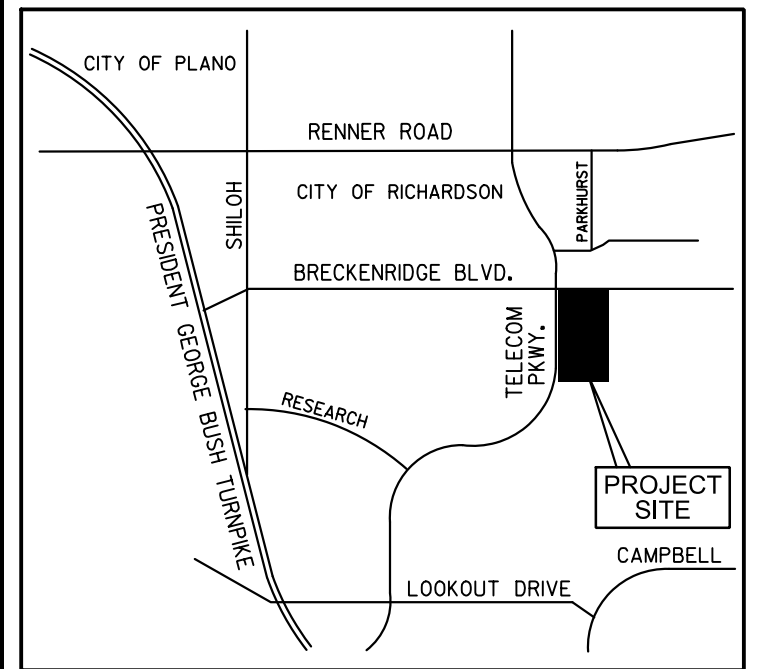
C.O.R. MONUMENT M-23:
ALUMINUM DISK IN THE SOUTHEAST CORNER OF PARKING LOT ON TOP OF CURB AT NORTHEAST CITY PARK OFFICE. ELEV.=525.000

SURVEY CONTROL

PT.#	NORTHING	EASTING	ELEVATION	DESCRIPTION
301	7048904.4354	2535884.5867	584.43	SET 60d TP
302	7049028.7713	2535913.7692	582.70	SET 60d TP
303	7048986.7650	2535374.7119	587.53	SET 60d TP



HALFF
 1201 NORTH BOWSER ROAD
 RICHARDSON, TEXAS 75081-2275
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 FAX (214) 739-0095
 TBPE FIRM # F-312



LOCATION MAP
 N.T.S.
 MAPSCO 9K

Drawing Issue & Revision Status

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Bank of America
 RTX RICHARDSON DATA CENTER
 LOT 1D, BLOCK B
 SHILOH BUSINESS PARK
 3000 TELECOM PARKWAY
 RICHARDSON, TX 75082

SHEET NAME:
SOUTH SITE PLAN
 IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011
 HAI AVO No. 28165 SHEET NUMBER:
C0.02
 CHECKED BY:

SITE DATA (CITY OF RICHARDSON CRITERIA)

CURRENT ZONING:	I-M(1)
ORDINANCE:	712-A
SPECIAL CONDITIONS:	NONE RELEVANT TO PROPOSED USE
BUILDING HEIGHT:	MAX. 1 STORY (UP TO 25' HEIGHT) WITHIN 150' FEET OF RESIDENTIAL; MAX 2 STORIES WITHIN 150'-300' OF RESIDENTIAL; 50'-FEET BEYOND 300' FROM RESIDENTIAL
MAXIMUM FLOOR AREA RATIO (FAR):	0.75 : 1
SETBACK REQUIREMENTS:	40' FRONT (TELECOM PKWY) 40' FRONT (BRECKINRIDGE BLVD) 0' SIDE 0' REAR; 60' REAR IF ADJACENT TO RESIDENTIAL
LANDSCAPE REQUIREMENTS:	NOT LESS THAN TEN PERCENT (10%) OF THE SITE SHALL BE PROVIDED AS LANDSCAPED AREAS.
LOT 1D SUMMARY	
LOT AREA:	TOTAL: 868,786 SF (19.94 Ac.)
BUILDING ONE:	132,784 SF
BUILDING TWO:	18,430 SF
TOTAL:	151,214 SF
BUILDING AREA - OFFICE:	29,894 SF
BUILDING AREA - TECHNICAL (DATA CENTER, MECHANICAL):	121,321 SF
BUILDING HEIGHT:	1 STORY (25' MAX.)
PARKING RATIO - OFFICE:	1 SPACE / 300 SF
REQUIRED PARKING (OFFICE):	120 SPACES
PARKING RATIO - TECHNICAL (DATA CENTER, MECHANICAL):	1 SPACE / 1000 SF
REQUIRED PARKING (TECHNICAL):	122 SPACES
TOTAL REQUIRED PARKING:	222 SPACES
TOTAL PROVIDED PARKING:	246 SPACES
FLOOR AREA RATIO (ACTUAL):	151,214 / 868,786 = 0.18:1
REQUIRED LANDSCAPED AREA:	10% (86,876 SF)
PROVIDED LANDSCAPED AREA:	56% (484,876 SF)

- NOTES:
- EXISTING UTILITY LOCATIONS ARE TAKEN FROM AVAILABLE RECORD DRAWINGS. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES.
 - ALL DIMENSION MEASURED TO FACE OF CURB.
 - SEE SHEET C3.01 FOR GRADING INFORMATION.
 - SEE LANDSCAPE PLANS FOR LANDSCAPE INFORMATION AND DETAILS.
 - LIGHTING MUST BE ORIENTED SO THAT NO MORE THAN 1 FOOT CANDLE ILLUMINATION SPILLS ACROSS THE PROPERTY LINE. SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE SHILOH BUSINESS PARK DEVELOPMENT GUIDELINES, SECTION 3.10, EXTERIOR ILLUMINATION. SEE MEP PLANS FOR MORE INFORMATION.
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BENCHMARKS

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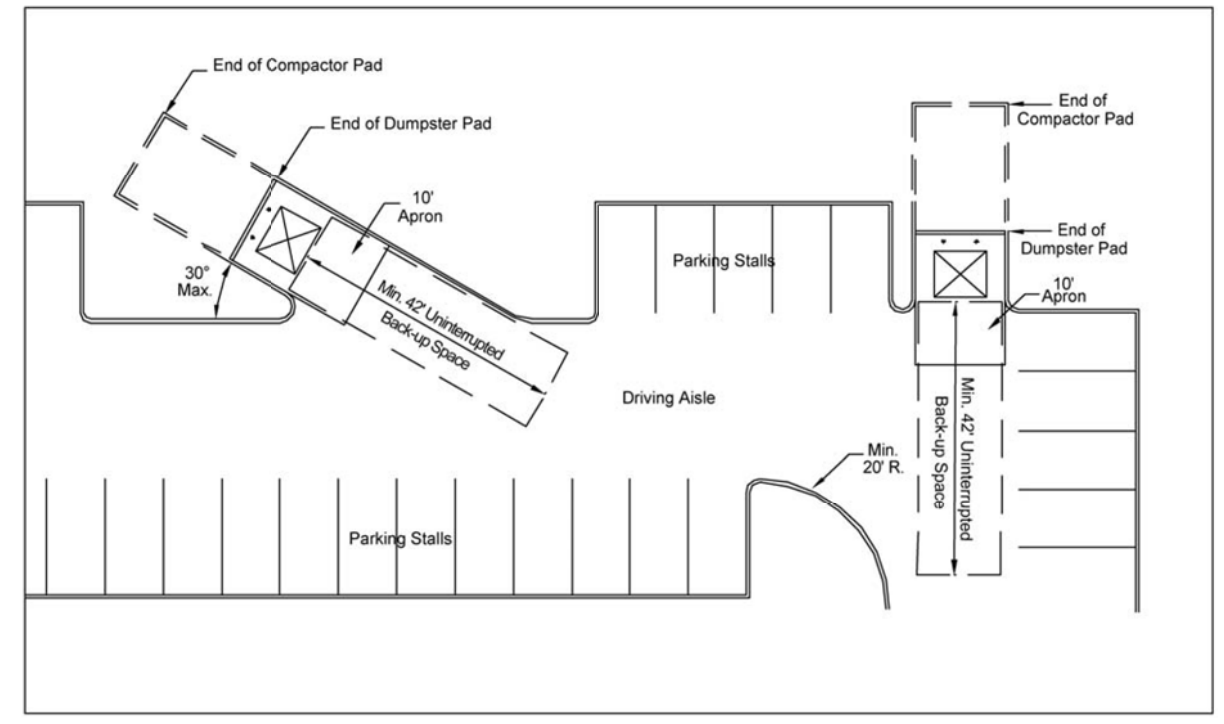
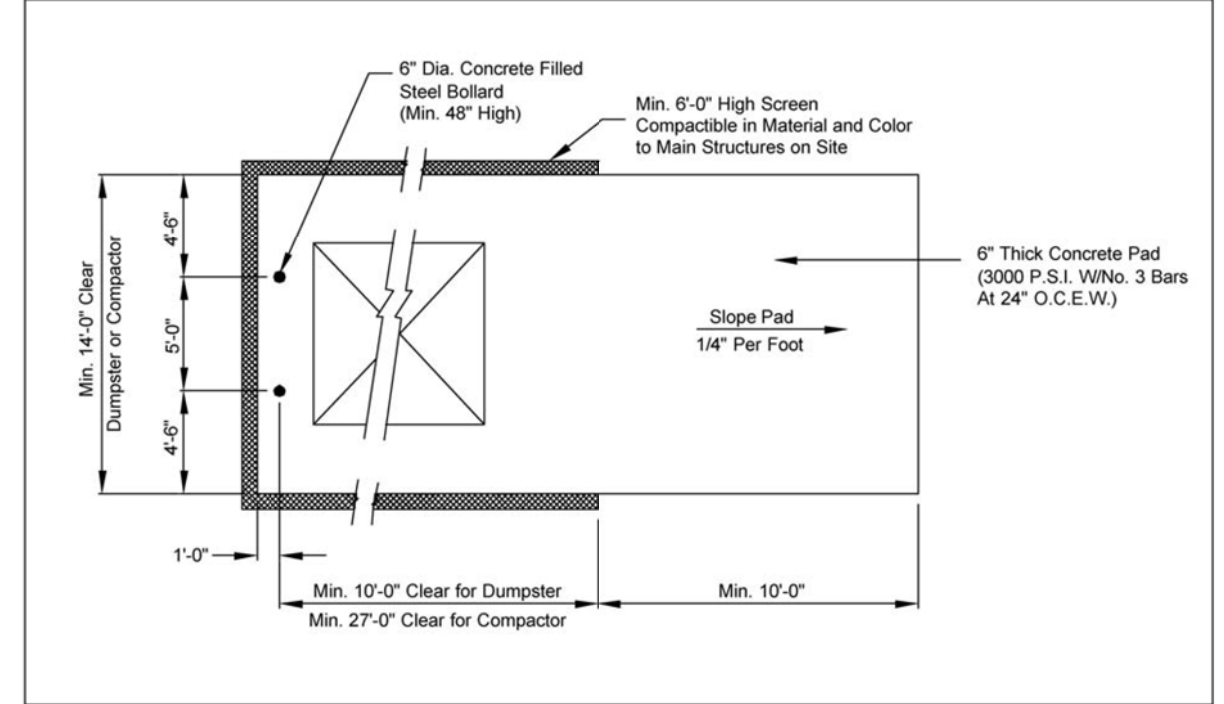
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LEGEND

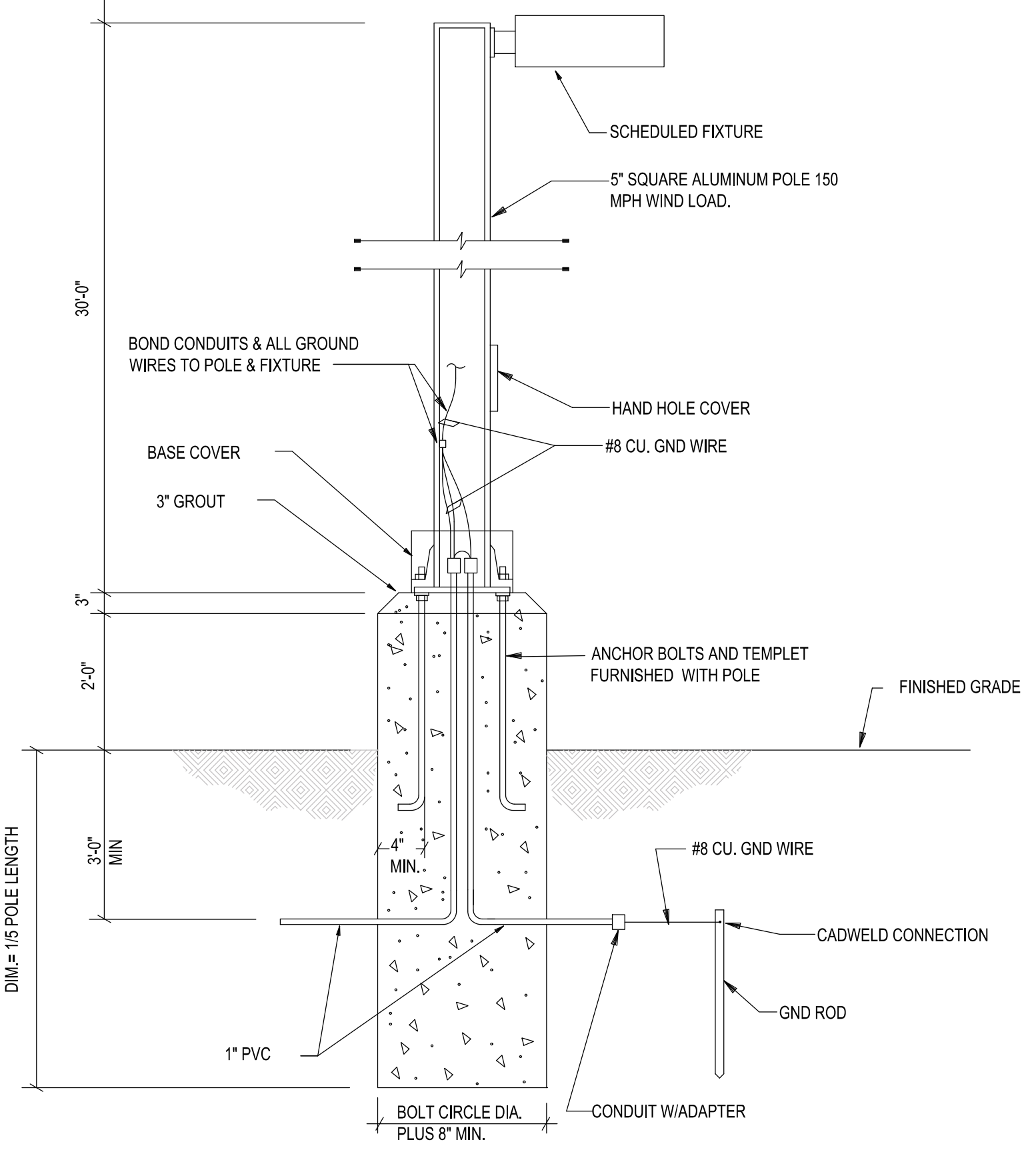
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- PP - - - EXIST. POWER POLE
- EXIST. GUY WIRE
- GM - - - EXIST. GAS METER
- GV - - - EXIST. GAS VALVE
- WM - - - WATER METER
- WV - - - WATER VALVE
- FH - - - FIRE HYDRANT

Dumpster/Compactor Requirements (cont'd)

Dumpster/Compactor Pad Detail

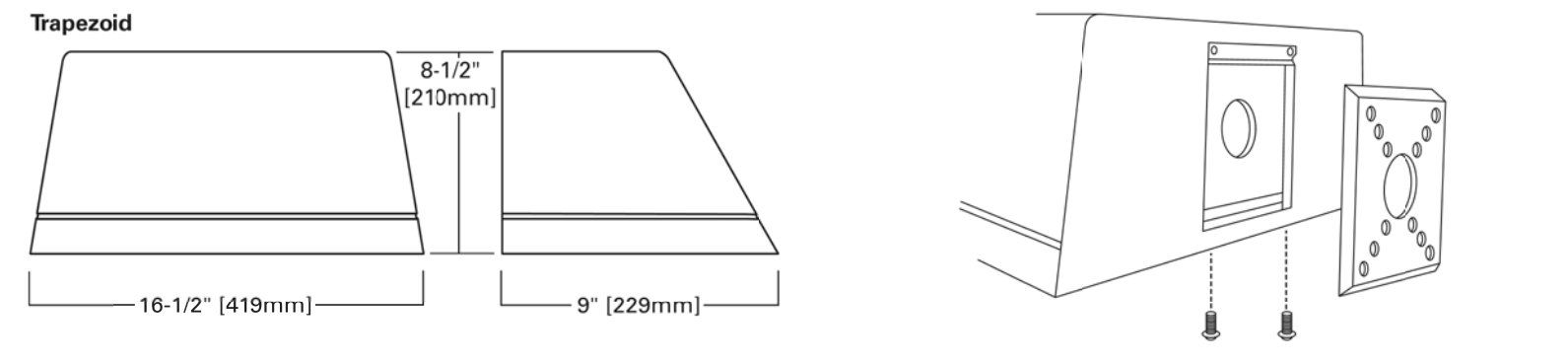


Revised: February 2002

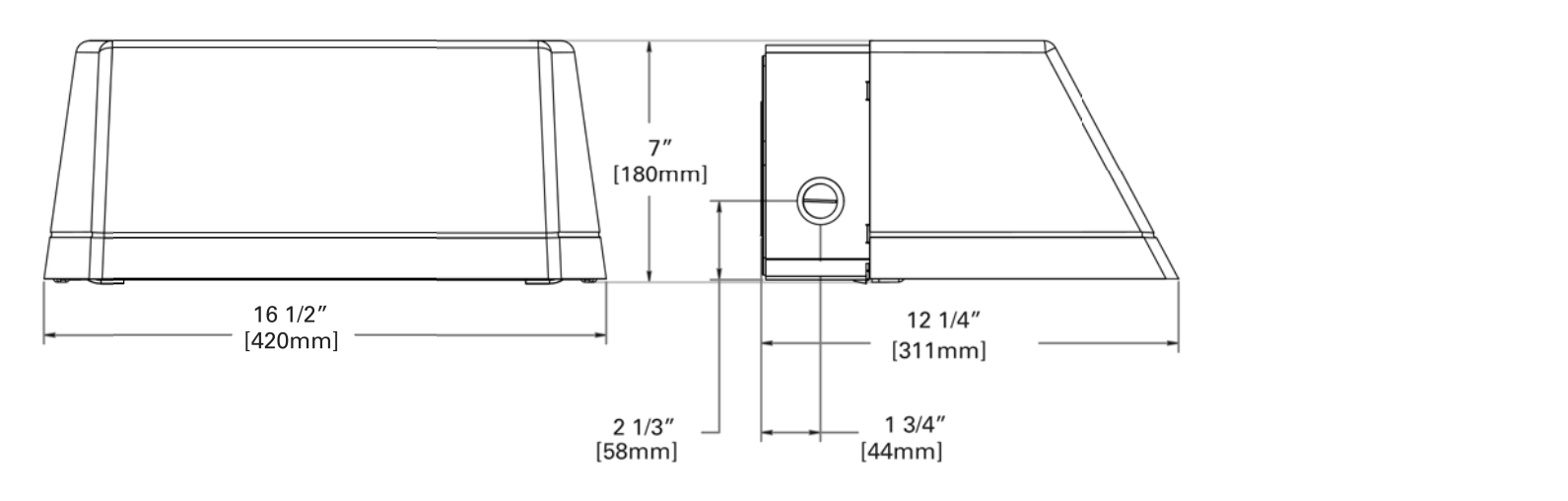


POLE MOUNTED LIGHTING FIXTURE FOUNDATION DETAIL
SCALE: N.T.S.

STANDARD DIMENSIONS **HOOK-N-LOCK MOUNTING**

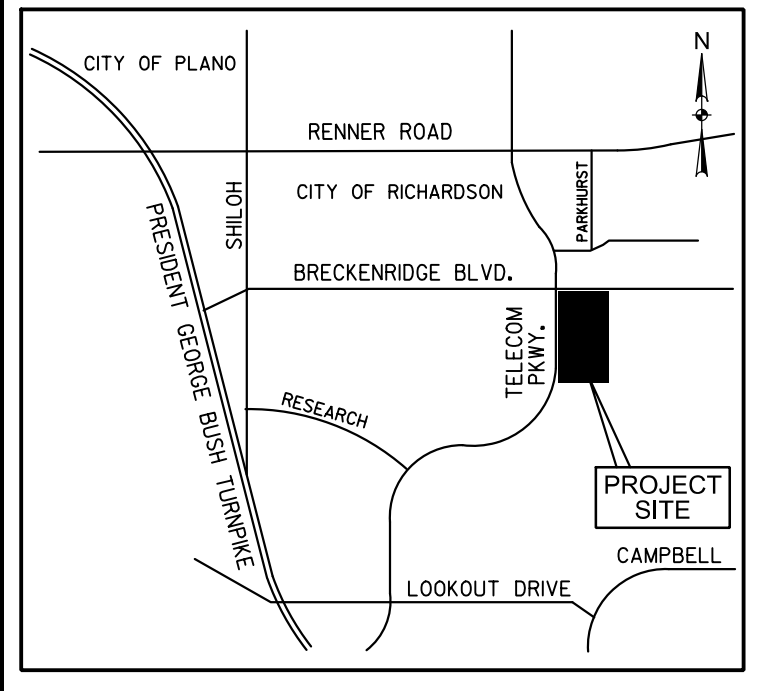


STANDARD DIMENSIONS WITH BACK BOX



BUILDING MOUNTED LIGHTING FIXTURE DETAIL
SCALE: N.T.S.

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FAX (214) 739-0995
TBPE FIRM # F-312



LOCATION MAP
N.T.S.
MAPSCO 9K

Drawing Issue & Revision Status

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SHEET NAME:
SITE PLAN DETAILS

IDG Prj. No. 1031101	ISSUE DATE: 08/11/2011
HAI AVO No. 28165	SHEET NUMBER: C0.03
CHECKED BY:	

**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

Revised Landscape Plan

PROJECT SUMMARY

Project:	Bank of America Data Center 3000 Telecom Parkway
Staff Comments:	The design is consistent with City regulations and policies.
CPC Action:	Final decision

BACKGROUND

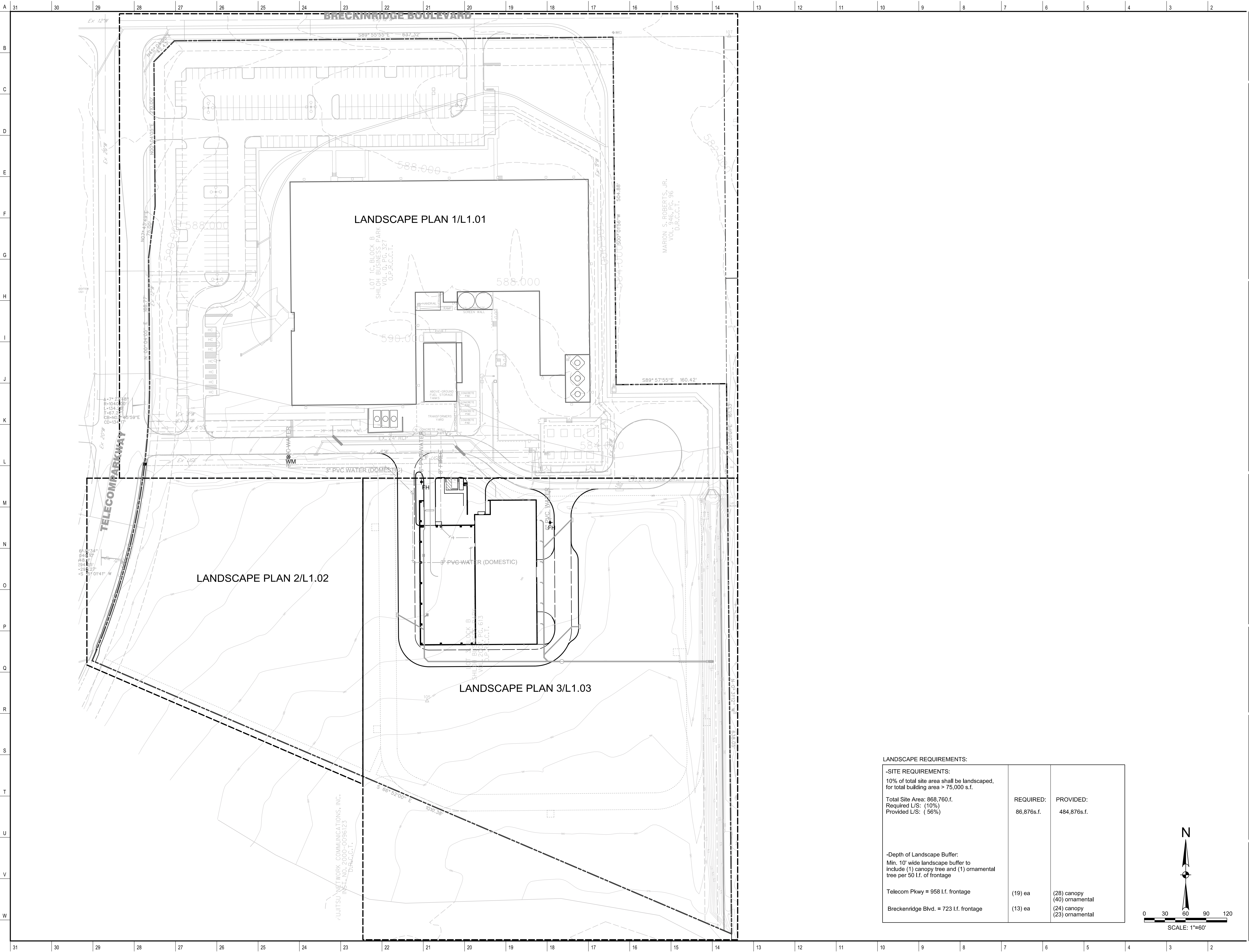
Landscape Area Summary:

<i>Area Required</i>	10% of property (86,876 square feet)
<i>Area Provided</i>	56% of property (484,876 square feet)

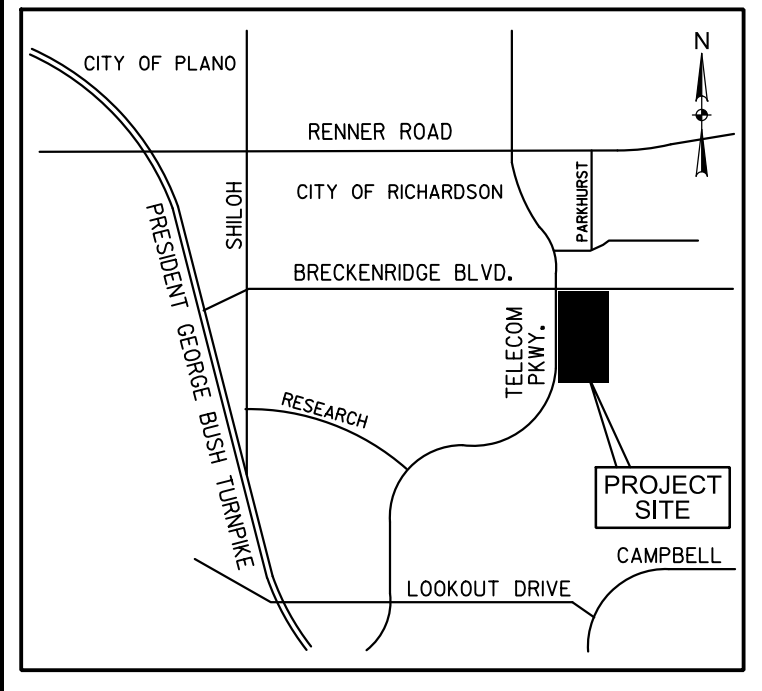
Landscape Design: The proposed landscape plan reflects the development of a new 18,430 square foot building at the existing Bank of America data center.

Along Telecom Parkway, the plan reflects the installation of a landscape berm with supplemental canopy and ornamental trees, in accordance with City policies.

Along the eastern property line, four existing trees are being removed for the installation of the required six foot high masonry screening wall. The applicant proposes to mitigate the loss of these four trees with a tree line of six canopy trees and nine ornamental trees located on the east side of the proposed building. These trees provide additional screening of this site from the adjacent residential neighborhood.



1201 NORTH BOWSER ROAD
 RICHARDSON, TEXAS 75081-2275
 TEL (214) 346-6200
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LOCATION MAP
 N.T.S.
 MAPSCO 9K

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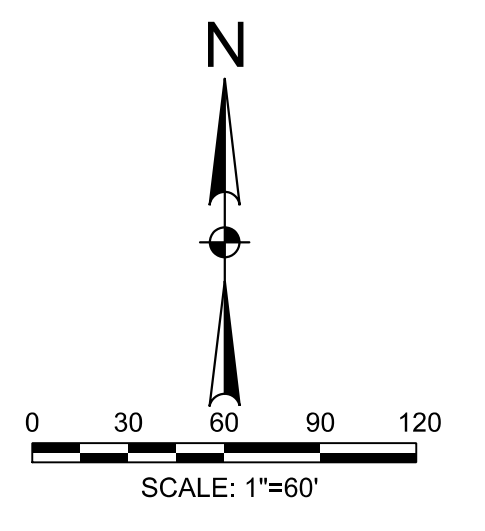
SHEET NAME:
 LANDSCAPE EXHIBIT
 KEY SHEET

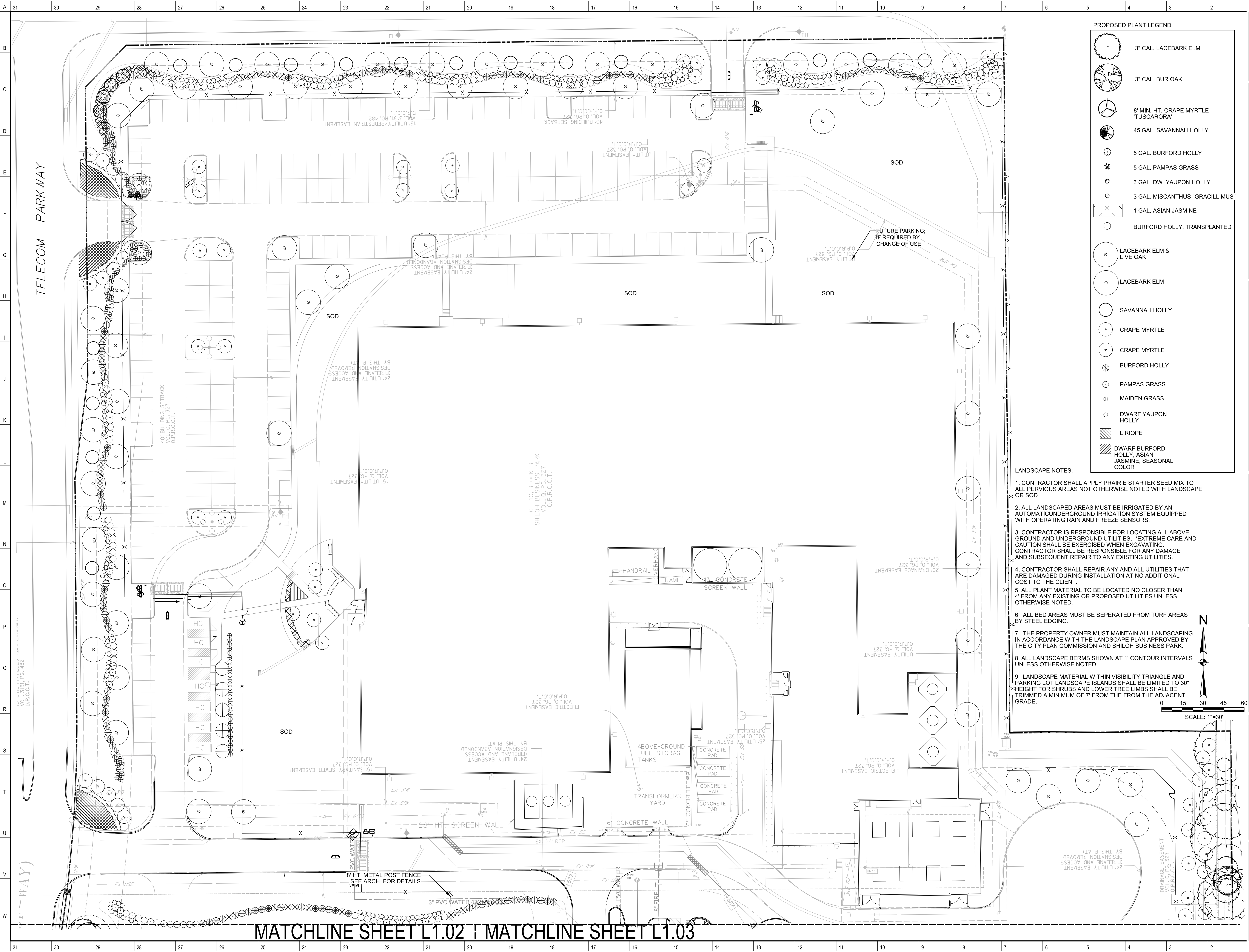
IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011
 HAI AVO No. 28165 SHEET NUMBER:

CHECKED BY:
L1.00

LANDSCAPE REQUIREMENTS:

-SITE REQUIREMENTS: 10% of total site area shall be landscaped, for total building area > 75,000 s.f. Total Site Area: 868,760.f. Required L/S: (10%) Provided L/S: (56%)	REQUIRED: 86,876s.f.	PROVIDED: 484,876s.f.
-Depth of Landscape Buffer: Min. 10' wide landscape buffer to include (1) canopy tree and (1) ornamental tree per 50 l.f. of frontage		
Telecom Pkwy = 958 l.f. frontage	(19) ea	(28) canopy (40) ornamental
Breckenridge Blvd. = 723 l.f. frontage	(13) ea	(24) canopy (23) ornamental





PROPOSED PLANT LEGEND

	3" CAL. LACEBARK ELM
	3" CAL. BUR OAK
	8" MIN. HT. CRAPE MYRTLE 'TUSCARORA'
	45 GAL. SAVANNAH HOLLY
	5 GAL. BURFORD HOLLY
	5 GAL. PAMPAS GRASS
	3 GAL. DW. YAUPON HOLLY
	3 GAL. MISCANTHUS "GRACILLIMUS"
	1 GAL. ASIAN JASMINE
	BURFORD HOLLY, TRANSPLANTED
	LACEBARK ELM & LIVE OAK
	LACEBARK ELM
	SAVANNAH HOLLY
	CRAPE MYRTLE
	CRAPE MYRTLE
	BURFORD HOLLY
	PAMPAS GRASS
	MAIDEN GRASS
	DWARF YAUPON HOLLY
	LIRIOPE
	DWARF BURFORD HOLLY, ASIAN JASMINE, SEASONAL COLOR

- LANDSCAPE NOTES:**
- CONTRACTOR SHALL APPLY PRAIRIE STARTER SEED MIX TO ALL PERVIOUS AREAS NOT OTHERWISE NOTED WITH LANDSCAPE OR SOD.
 - ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL ABOVE GROUND AND UNDERGROUND UTILITIES. *EXTREME CARE AND CAUTION SHALL BE EXERCISED WHEN EXCAVATING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE AND SUBSEQUENT REPAIR TO ANY EXISTING UTILITIES.
 - CONTRACTOR SHALL REPAIR ANY AND ALL UTILITIES THAT ARE DAMAGED DURING INSTALLATION AT NO ADDITIONAL COST TO THE CLIENT.
 - ALL PLANT MATERIAL TO BE LOCATED NO CLOSER THAN 4' FROM ANY EXISTING OR PROPOSED UTILITIES UNLESS OTHERWISE NOTED.
 - ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
 - THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION AND SHILOH BUSINESS PARK.
 - ALL LANDSCAPE BERMS SHOWN AT 1' CONTOUR INTERVALS UNLESS OTHERWISE NOTED.
 - LANDSCAPE MATERIAL WITHIN VISIBILITY TRIANGLE AND PARKING LOT LANDSCAPE ISLANDS SHALL BE LIMITED TO 30" HEIGHT FOR SHRUBS AND LOWER TREE LIMBS SHALL BE TRIMMED A MINIMUM OF 7' FROM THE FROM THE ADJACENT GRADE.

LOCATION MAP
N.T.S.
MAPSCO 9K

Drawing Issue & Revision Status

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E	07/29/2011	HALFF	FINAL DEV. SUBMITTAL
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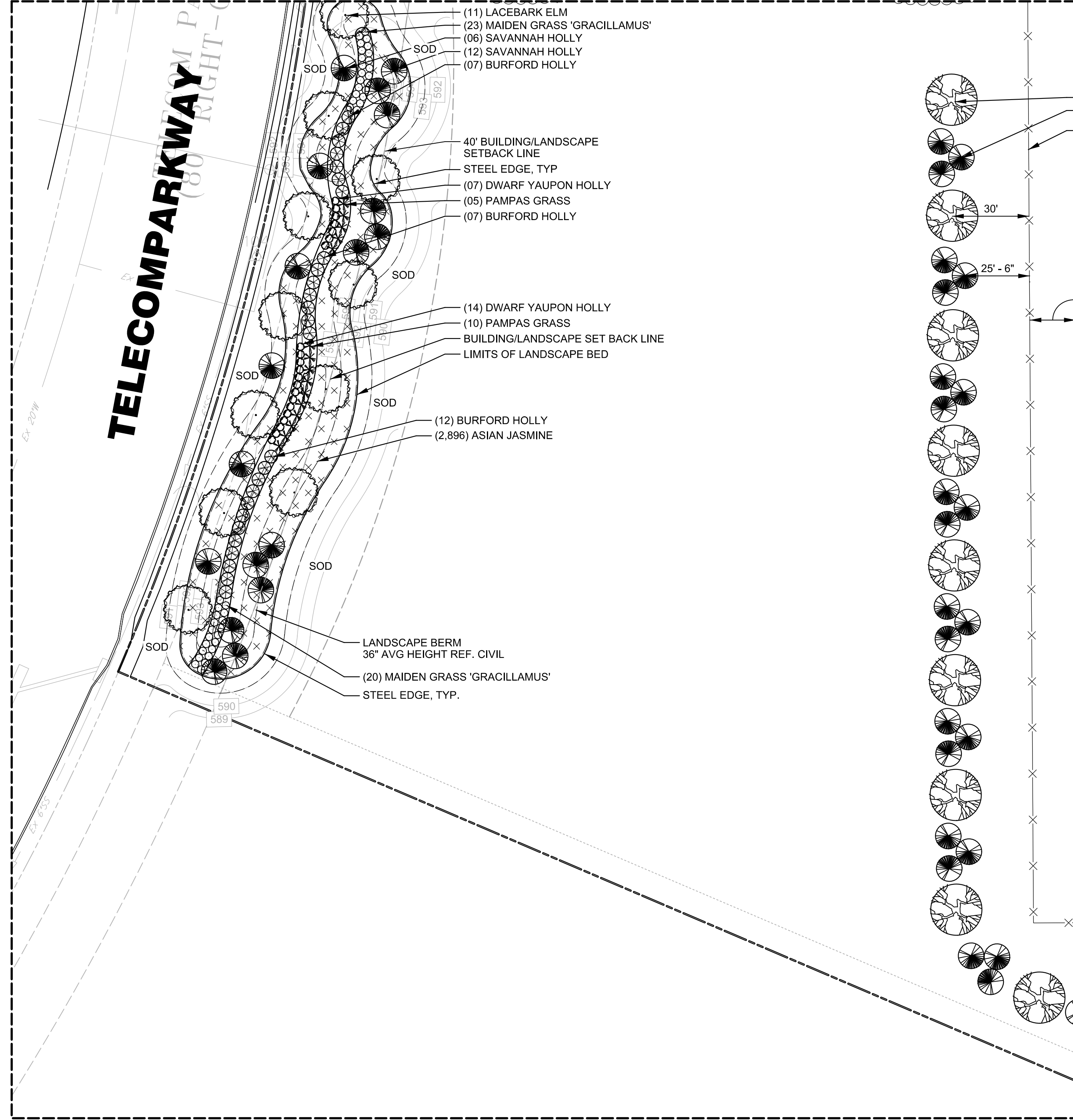
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SHEET NAME: **LANDSCAPE EXHIBIT**
SHEET 1 OF 3

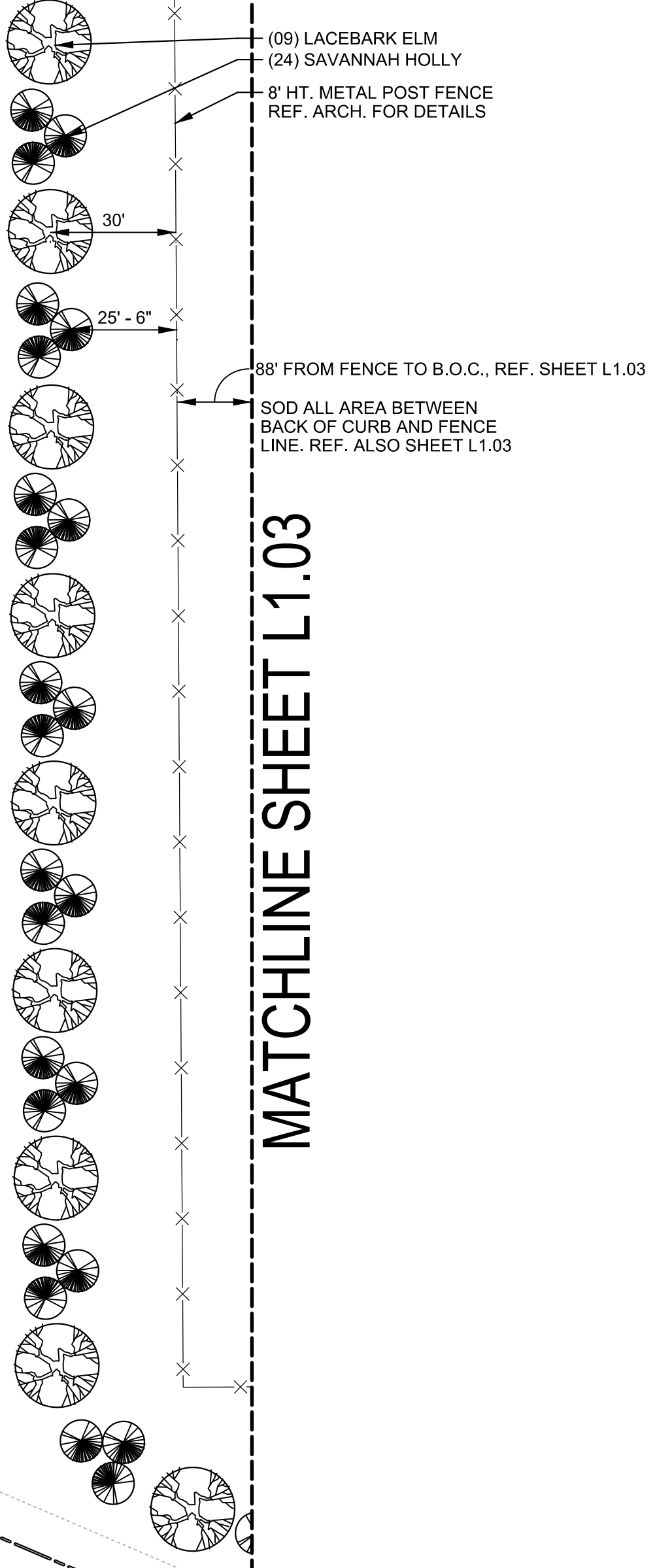
IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011
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CHECKED BY: **L1.01**

MATCHLINE SHEET L1.02 | MATCHLINE SHEET L1.03

MATCHLINE SHEET L1.01

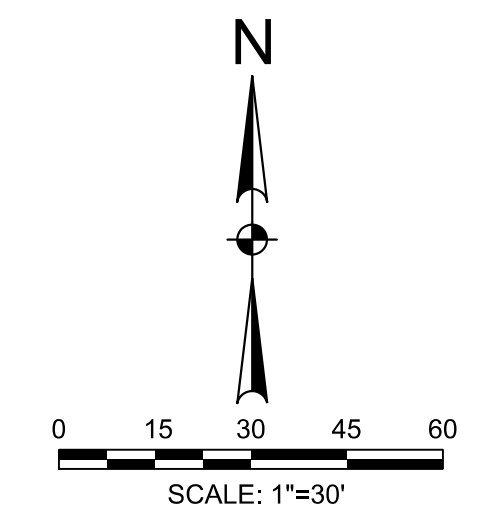


MATCHLINE SHEET L1.03

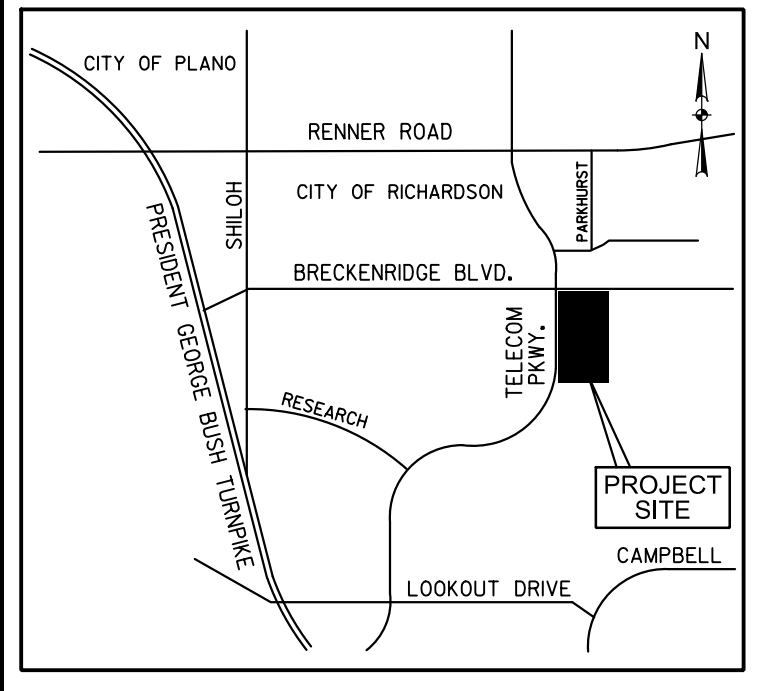


PROPOSED PLANT LEGEND

	3" CAL. LACEBARK ELM
	3" CAL. BUR OAK
	8' MIN. HT. CRAPE MYRTLE 'TUSCARORA'
	45 GAL. SAVANNAH HOLLY
	5 GAL. BURFORD HOLLY
	5 GAL. PAMPAS GRASS
	3 GAL. DW. YAUPON HOLLY
	3 GAL. MISCANTHUS "GRACILLIMUS"
	1 GAL. ASIAN JASMINE
	BURFORD HOLLY, TRANSPLANTED
	LACEBARK ELM & LIVE OAK
	LACEBARK ELM
	SAVANNAH HOLLY
	CRAPE MYRTLE
	CRAPE MYRTLE
	BURFORD HOLLY
	PAMPAS GRASS
	MAIDEN GRASS
	DWARF YAUPON HOLLY
	LIRIOPE
	DWARF BURFORD HOLLY, ASIAN JASMINE, SEASONAL COLOR



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LOCATION MAP
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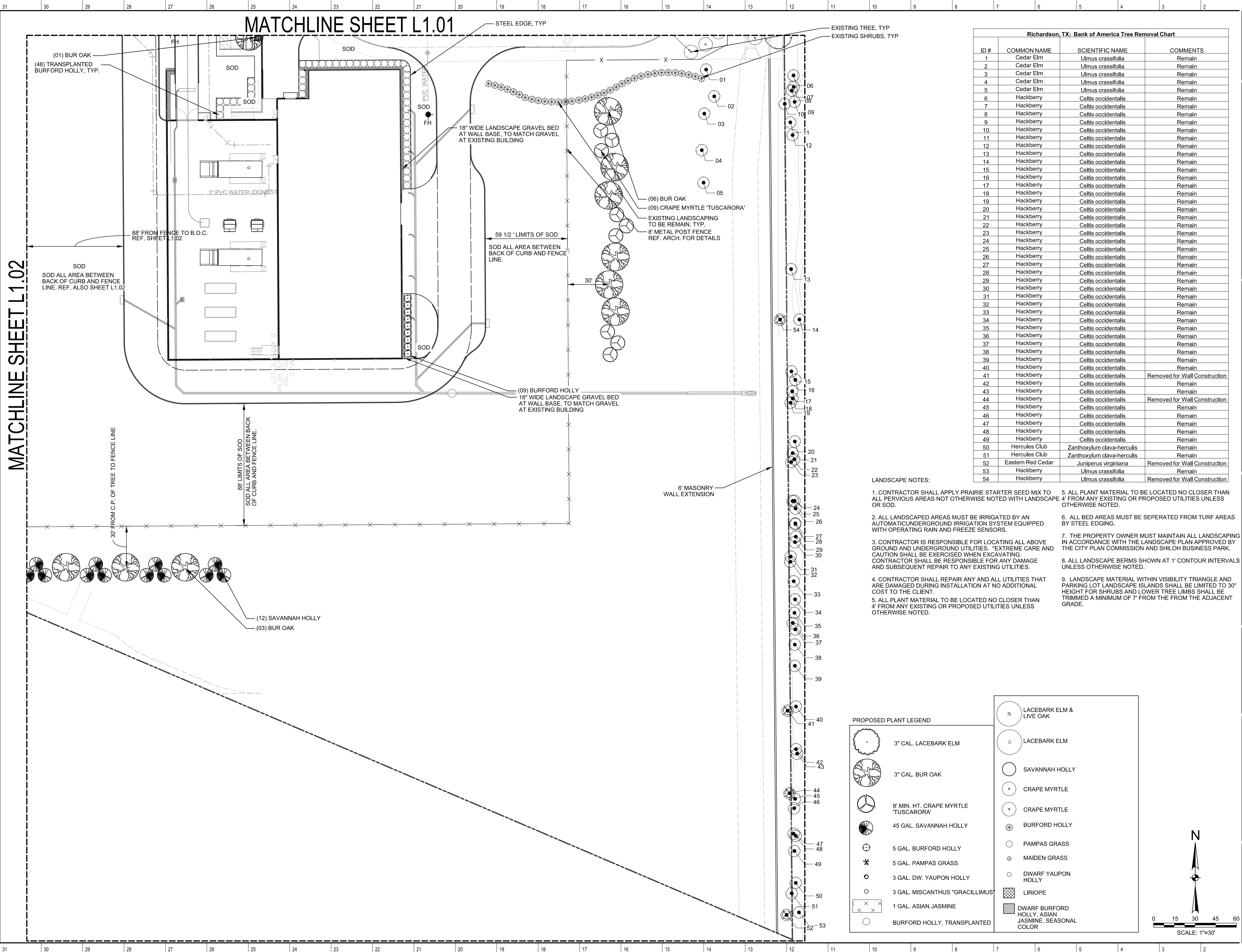
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MATCHLINE SHEET L1.01

STEEL EDGE, TYP

EXISTING TREE, TYP
EXISTING SHRUBS, TYP

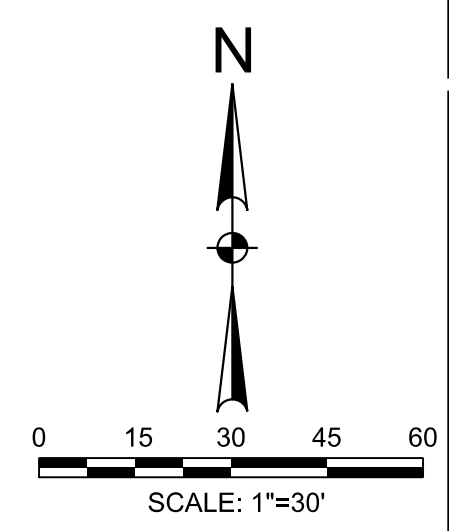
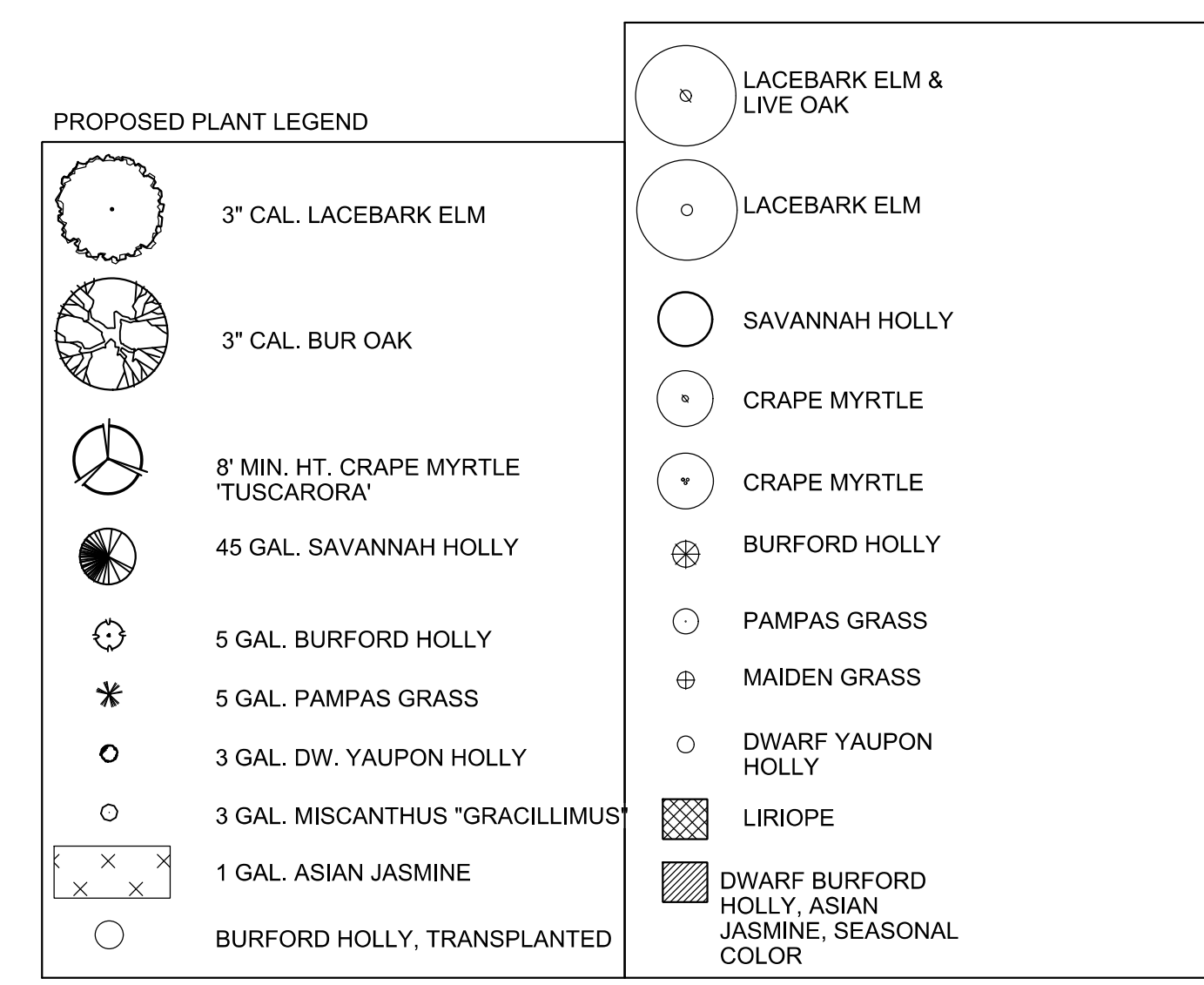
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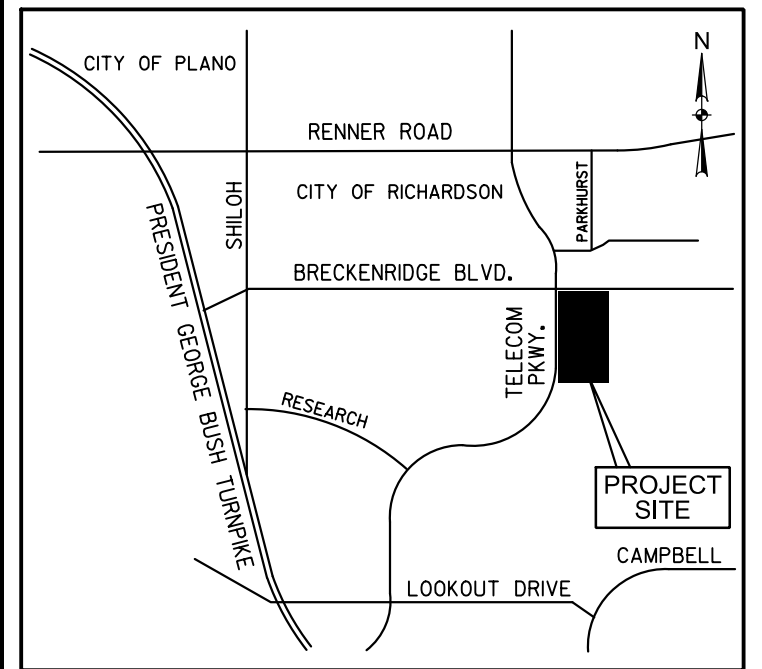
ID #	COMMON NAME	SCIENTIFIC NAME	COMMENTS
1	Cedar Elm	Ulmus crassifolia	Remain
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3	Cedar Elm	Ulmus crassifolia	Remain
4	Cedar Elm	Ulmus crassifolia	Remain
5	Cedar Elm	Ulmus crassifolia	Remain
6	Hackberry	Celtis occidentalis	Remain
7	Hackberry	Celtis occidentalis	Remain
8	Hackberry	Celtis occidentalis	Remain
9	Hackberry	Celtis occidentalis	Remain
10	Hackberry	Celtis occidentalis	Remain
11	Hackberry	Celtis occidentalis	Remain
12	Hackberry	Celtis occidentalis	Remain
13	Hackberry	Celtis occidentalis	Remain
14	Hackberry	Celtis occidentalis	Remain
15	Hackberry	Celtis occidentalis	Remain
16	Hackberry	Celtis occidentalis	Remain
17	Hackberry	Celtis occidentalis	Remain
18	Hackberry	Celtis occidentalis	Remain
19	Hackberry	Celtis occidentalis	Remain
20	Hackberry	Celtis occidentalis	Remain
21	Hackberry	Celtis occidentalis	Remain
22	Hackberry	Celtis occidentalis	Remain
23	Hackberry	Celtis occidentalis	Remain
24	Hackberry	Celtis occidentalis	Remain
25	Hackberry	Celtis occidentalis	Remain
26	Hackberry	Celtis occidentalis	Remain
27	Hackberry	Celtis occidentalis	Remain
28	Hackberry	Celtis occidentalis	Remain
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35	Hackberry	Celtis occidentalis	Remain
36	Hackberry	Celtis occidentalis	Remain
37	Hackberry	Celtis occidentalis	Remain
38	Hackberry	Celtis occidentalis	Remain
39	Hackberry	Celtis occidentalis	Remain
40	Hackberry	Celtis occidentalis	Remain
41	Hackberry	Celtis occidentalis	Removed for Wall Construction
42	Hackberry	Celtis occidentalis	Remain
43	Hackberry	Celtis occidentalis	Remain
44	Hackberry	Celtis occidentalis	Removed for Wall Construction
45	Hackberry	Celtis occidentalis	Remain
46	Hackberry	Celtis occidentalis	Remain
47	Hackberry	Celtis occidentalis	Remain
48	Hackberry	Celtis occidentalis	Remain
49	Hackberry	Celtis occidentalis	Remain
50	Hercules Club	Zanthoxylum clava-herculis	Remain
51	Hercules Club	Zanthoxylum clava-herculis	Remain
52	Eastern Red Cedar	Juniperus virginiana	Removed for Wall Construction
53	Hackberry	Ulmus crassifolia	Remain
54	Hackberry	Ulmus crassifolia	Removed for Wall Construction

LANDSCAPE NOTES:

- CONTRACTOR SHALL APPLY PRAIRIE STARTER SEED MIX TO ALL PERVIOUS AREAS NOT OTHERWISE NOTED WITH LANDSCAPE 4' FROM ANY EXISTING OR PROPOSED UTILITIES UNLESS OTHERWISE NOTED.
- ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL ABOVE GROUND AND UNDERGROUND UTILITIES. EXTREME CARE AND CAUTION SHALL BE EXERCISED WHEN EXCAVATING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE AND SUBSEQUENT REPAIR TO ANY EXISTING UTILITIES.
- CONTRACTOR SHALL REPAIR ANY AND ALL UTILITIES THAT ARE DAMAGED DURING INSTALLATION AT NO ADDITIONAL COST TO THE CLIENT.
- ALL PLANT MATERIAL TO BE LOCATED NO CLOSER THAN 4' FROM ANY EXISTING OR PROPOSED UTILITIES UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL TO BE LOCATED NO CLOSER THAN 4' FROM ANY EXISTING OR PROPOSED UTILITIES UNLESS OTHERWISE NOTED.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION AND SHILOH BUSINESS PARK.
- ALL LANDSCAPE BERMS SHOWN AT 1' CONTOUR INTERVALS UNLESS OTHERWISE NOTED.
- LANDSCAPE MATERIAL WITHIN VISIBILITY TRIANGLE AND PARKING LOT LANDSCAPE ISLANDS SHALL BE LIMITED TO 30" HEIGHT FOR SHRUBS AND LOWER TREE LIMBS SHALL BE TRIMMED A MINIMUM OF 7' FROM THE FROM THE ADJACENT GRADE.



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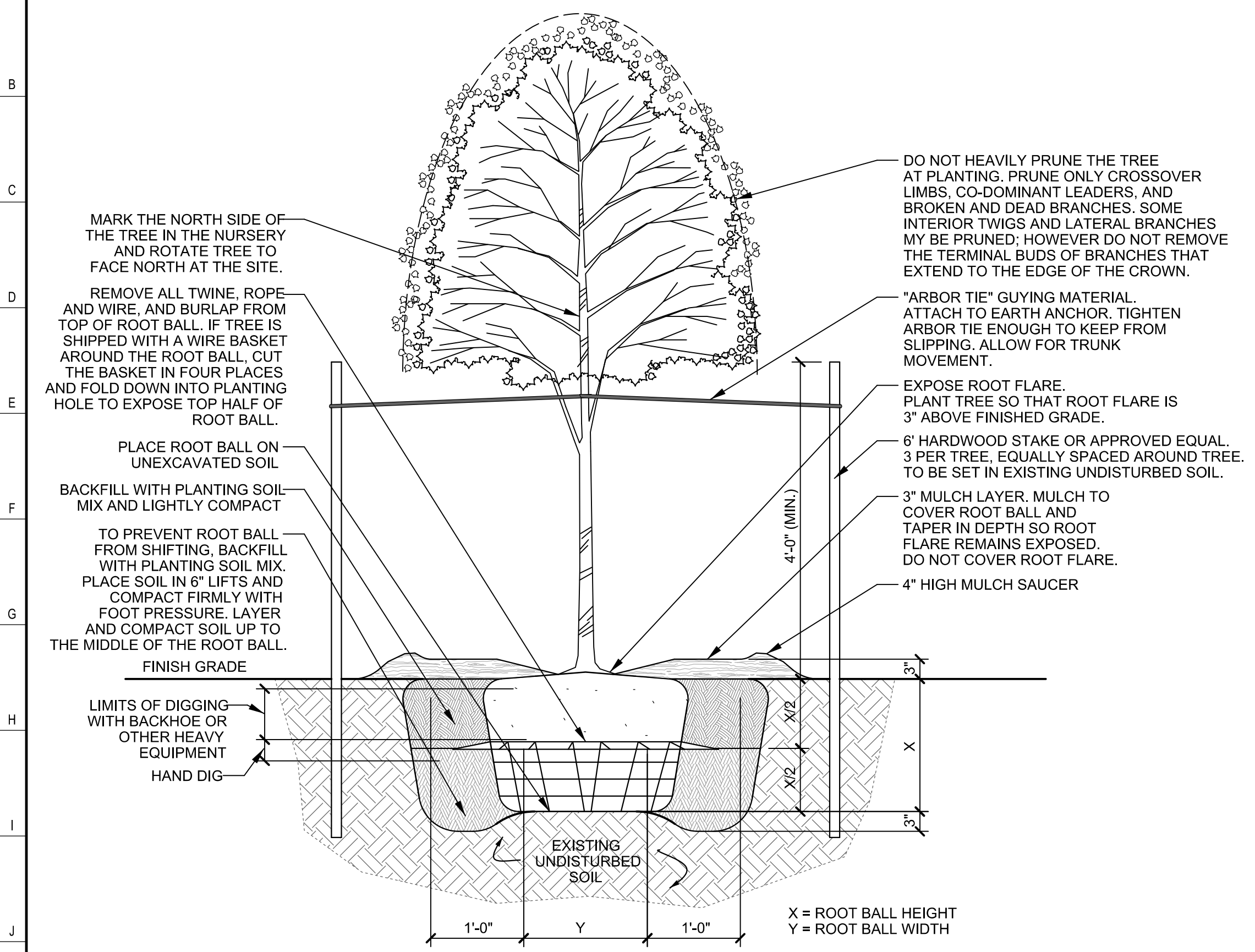
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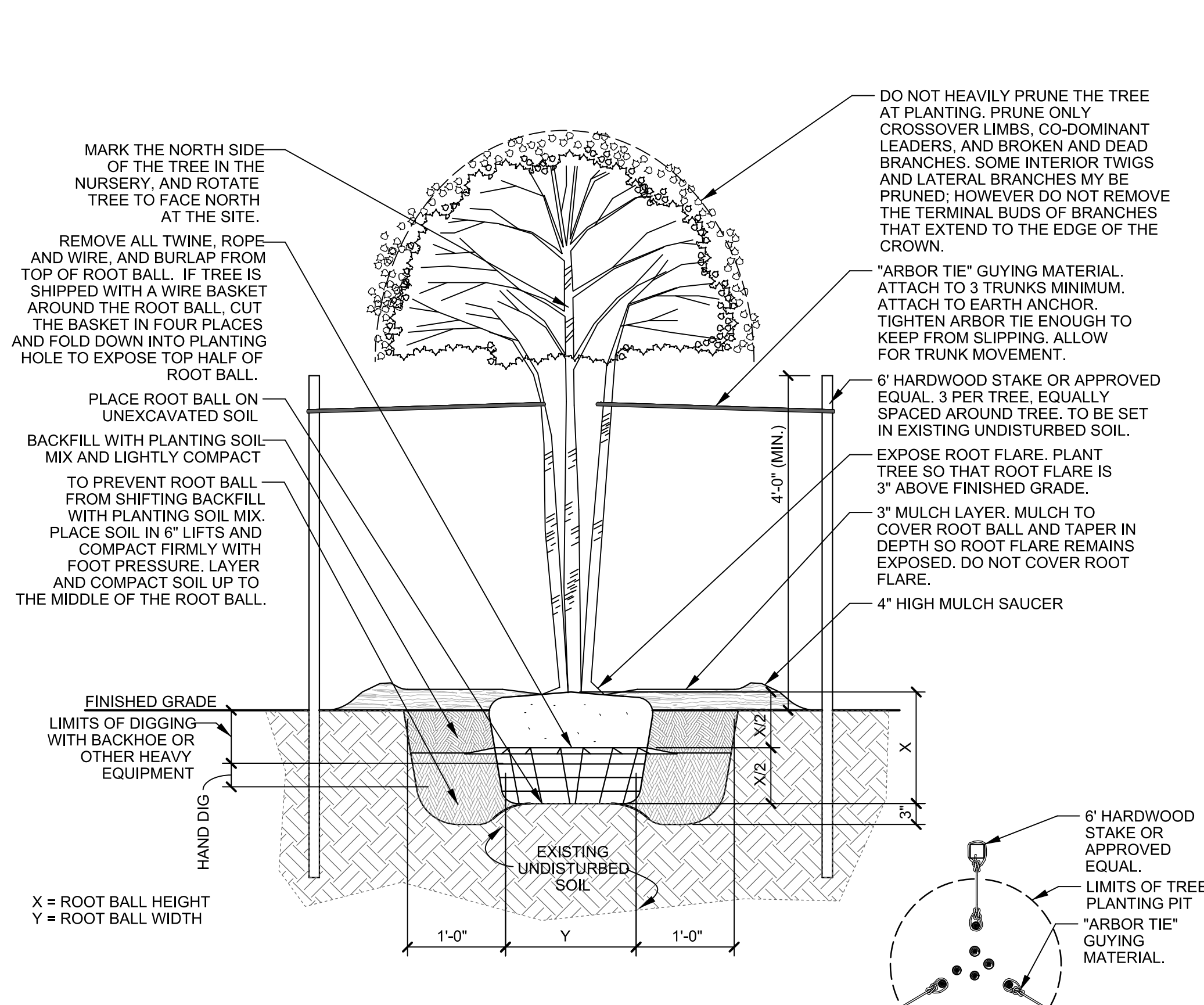
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SHEET 3 OF 3

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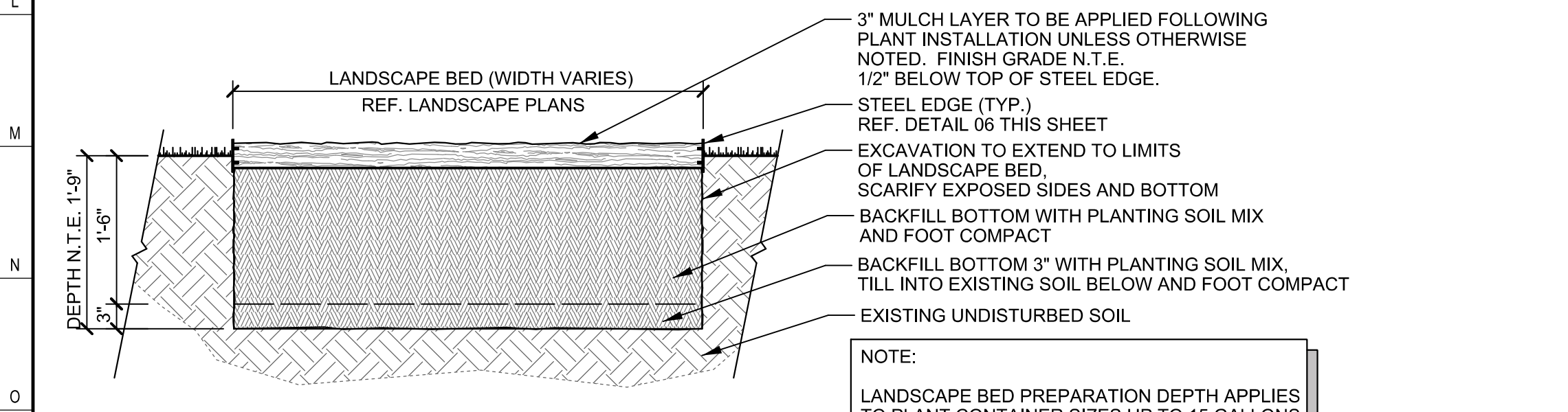
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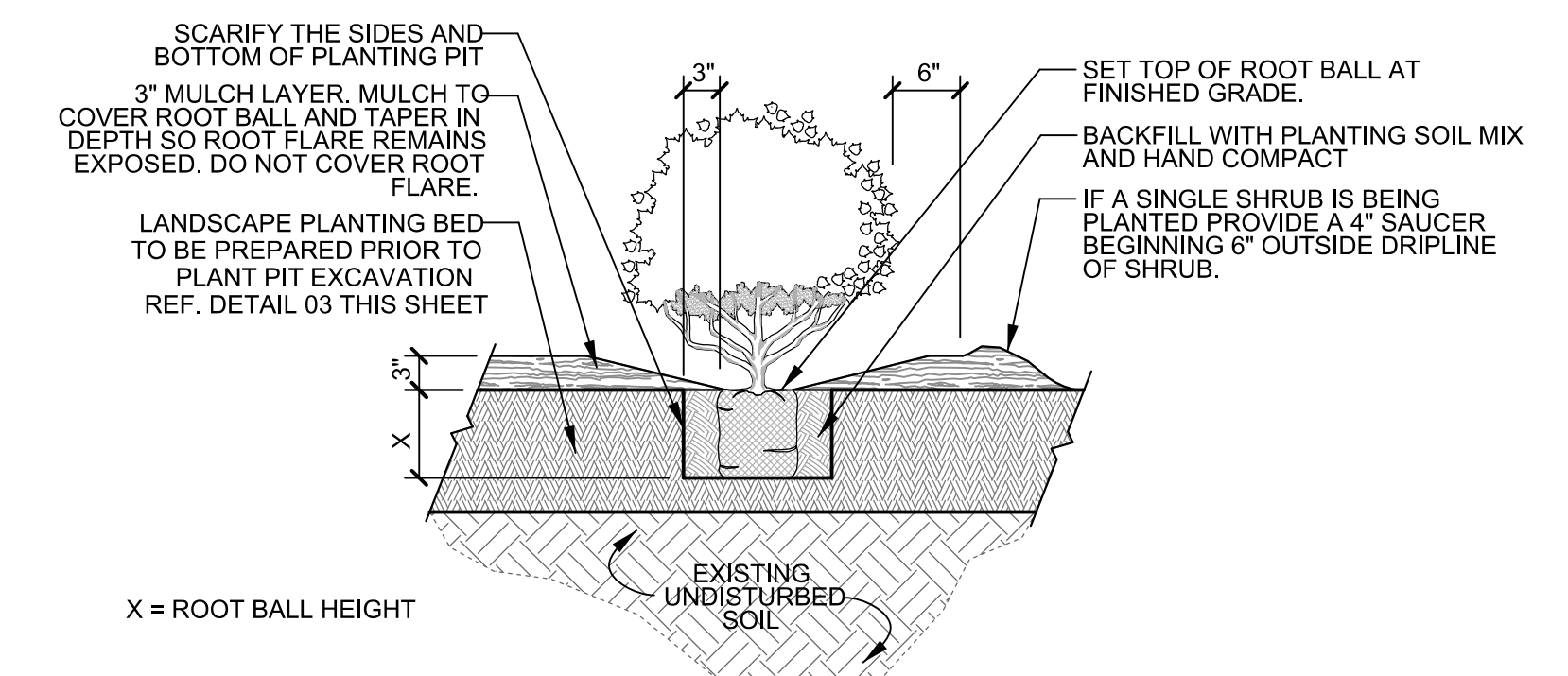
01 SINGLE-TRUNK TREE WITH STAKES
SCALE: 3/4"=1'-0"



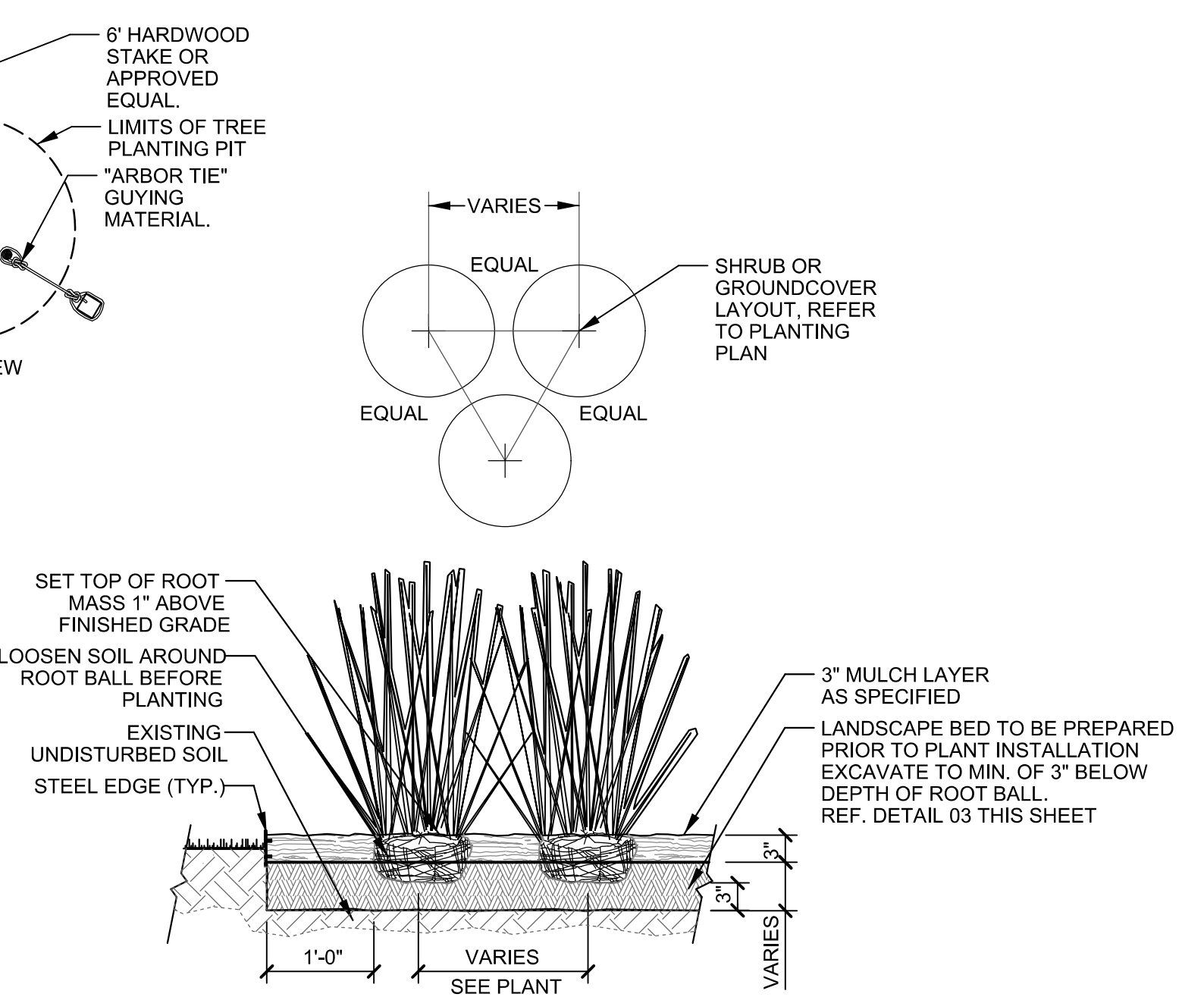
02 MULTI-TRUNK TREE WITH STAKES
SCALE: 3/4"=1'-0"



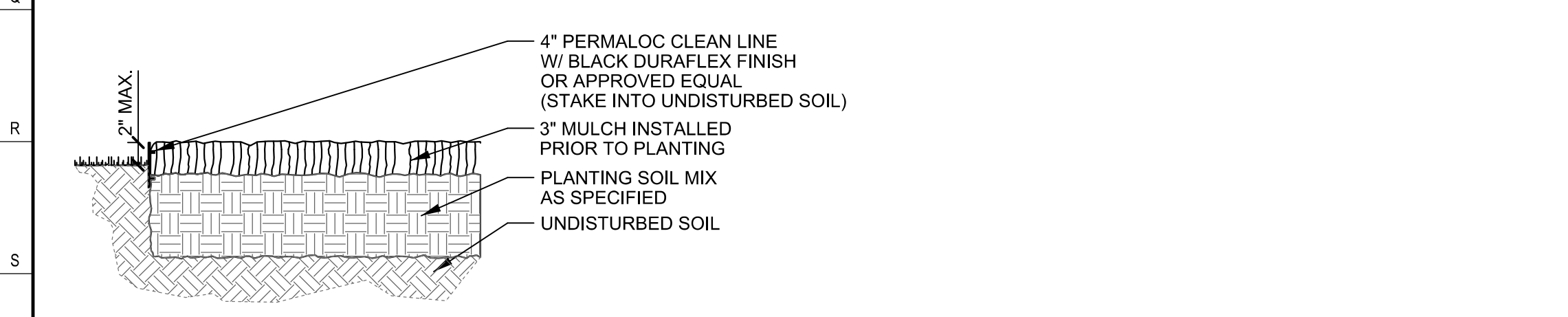
03 LANDSCAPE BED PREPARATION
SCALE: 3/4"=1'-0"



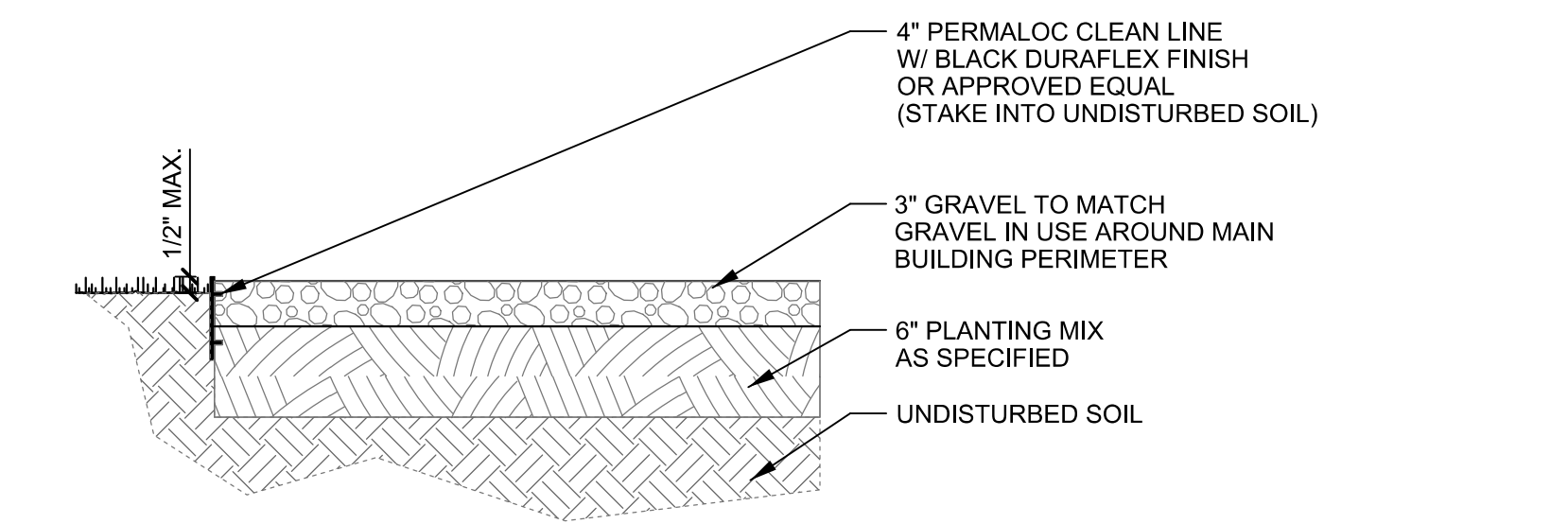
04 SHRUB PLANTING DETAIL
SCALE: 3/4"=1'-0"



05 ORNAMENTAL GRASS
SCALE: 3/4"=1'-0"

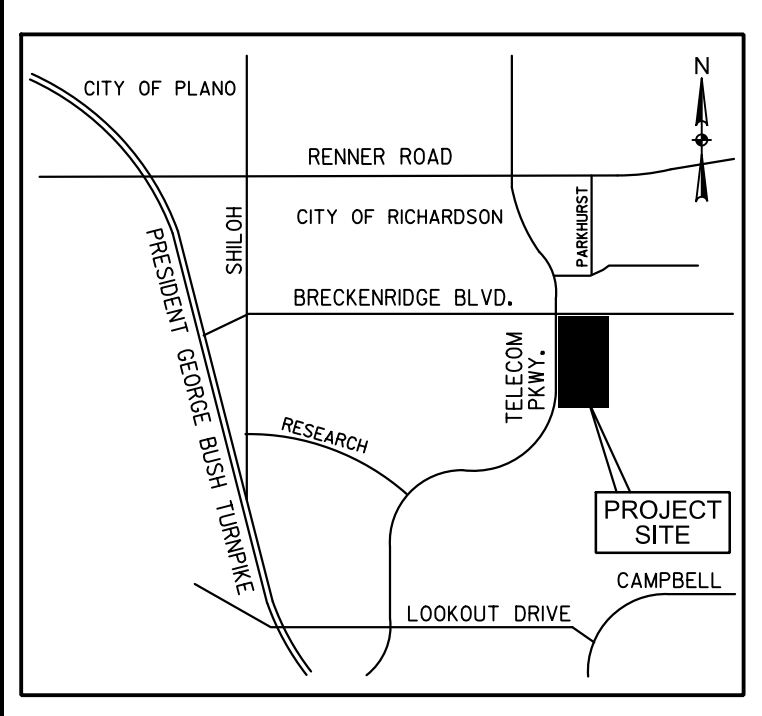


06 LANDSCAPE EDGE (TYP.)
SCALE: 3/4"=1'-0"



07 GRAVEL W/ STEEL EDGE AT BLDG. (TYP.)
SCALE: 1"=1'-0"

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SHEET NAME: **LANDSCAPE DETAILS**

IDG Prj. No. 1031101 ISSUE DATE: 08/11/2011

HAI AVO No. 28165 SHEET NUMBER: **L2.01**

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PLANTING SPECIFICATIONS

NOTE: All tree plantings to receive a Pro-active Micorrhizal treatment at time of planting and during "establishment" as specified by Plant Health Care, Inc. www.planthealthcare.com 1.800.421.9061

PREPARATION
LANDSCAPE CONTRACTOR AND REPRESENTATIVE OF OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

PLANT LOCATIONS
REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

GRADING AND DRAINAGE
Half Associates, Inc. ASSUMES NO RESPONSIBILITY FOR FAILURE OF ANY HARDSCAPE AMENITY SUCH AS WALKS, ENTRANCES TO STRUCTURES, AND PLANTER BEDS FORMED OR ENCLOSED BY EDGING AND FLAT WORK WHICH DO NOT DRAIN DUE TO IMPROPER SET UP OF ELEVATIONS DURING CONSTRUCTION. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING, AND VERIFYING THAT WATER DRAINS AWAY FROM BUILDING.

COORDINATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

MAINTENANCE
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

VERIFICATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

PLANTING BEDS
ALL BED AREAS ARE TO BE LEFT 3" ABOVE FINISHED GRADE OF ADJACENT PAVEMENT TO INCLUDE 3" OF MULCH AFTER COMPACTION AND SETTLEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

MULCH
AFTER SETTLEMENT AND COMPACTION, ALL PLANTING BEDS SHALL RECEIVE A MINIMUM 3" LAYER OF MULCH. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND RE SEEDED.

PLANT MATERIAL STANDARDS
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS. LANDSCAPE ARCHITECT SHALL APPROVE ANY PLANT SUBSTITUTION.

PRUNING
ALL TREES ARE TO BE PRUNED AT TIME OF INSTALLATION TO REMOVE DEAD AND UNSIGHTLY LIMBS. ALL TREES ARE TO MATCH IN HEIGHT, SPREAD, AND CLEAR TRUNK, AND SHALL HAVE STRAIGHT TRUNKS.

PLANTING SOIL MIXTURE
50% SAND AND SOIL MIX (SEE DESCRIPTION BELOW)
50% BALANCED COMPOST (SEE DESCRIPTION BELOW)

SAND AND SOIL MIX DESCRIPTION:
SHARP SAND; SAND EXCAVATED FROM A MINIMUM OF 20 FEET BELOW GROUND LEVEL. SCREENED NATIVE SOIL; WELL ADAPTED NATIVE SOIL FROM SOURCES A MAXIMUM DISTANCE OF 200 MILES FROM THE PROJECT SITE.

BALANCED COMPOST DESCRIPTION:
WELL-COMPOSTED, MANUFACTURED SOIL BLENDS
STABLE, AND WEED-FREE ORGANIC MATTER
PH RANGE OF 5.5 TO 8;
MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT
100 PERCENT PASSING THROUGH 1-INCH SIEVE
SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M
NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. PURELY EXCAVATED SOIL WILL NOT BE PERMITTED.
COMPOST CAN HAVE MATERIALS AS FOLLOWS:
1. WOOD DERIVATIVES: DECOMPOSED, NITROGEN-TREATED SAWDUST, GROUND BARK, OR WOOD WASTE; OF UNIFORM TEXTURE AND FREE OF CHIPS, STONES, STICKS, SOIL, OR TOXIC MATERIAL.
a. LUMBER, EITHER TREATED OR UNTREATED, PALLETS OR CONSTRUCTION WASTE WILL NOT BE PERMITTED AS A WOOD DERIVATIVE
2. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, DEBRIS, AND MATERIAL HARMFUL TO PLANT GROWTH
a. SEWAGE, SLUDGE, AND RAW MANURE WILL NOT BE PERMITTED
3. LANDSCAPE TRIMMINGS: DECOMPOSED GRASS, LEAVES, WOOD CHIPS, OR BRUSH; OF UNIFORM TEXTURE AND FREE OF STICKS, STONES, OR TOXIC MATERIAL
4. ADDITIONAL REQUIREMENTS:
a. DEVELOPED USING AN EXTENSIVE AEROBIC COMPOSTING PROCESS.
b. SCHEDULED TURNS WITH A MINIMUM OF 5 TURNS.
c. COMPLETELY COMPOSTED FOR A MINIMUM OF 6-12 MONTHS
d. ACHIEVES A SOLVITA * COMPOST MATURITY INDEX VALUE OF 7 OR HIGHER
e. MEET OR EXCEED THE TIME AND TEMPERATURE STANDARDS SET IN T.A.C. CHAPTER 332, SUBCHAPTER B, PART 23 AS REQUIRED BY THE TCEQ/TNRCC
f. MEET FEDERAL SPECIFICATION UNDER GUIDELINES OF 40 C.F.R., PART 503, STANDARDS FOR CLASS A BIOSOLIDS.
g. HAVE A HIGH CONCENTRATION OF AEROBIC COMPOSTED ORGANIC MATTER AS DETERMINED BY ASTM D-5268 AT 824 F.

TREE SUPPORT
TREES SHALL BE SUPPORTED WITH THE APPROVED METHOD FOR A PERIOD OF ONE YEAR AT WHICH TIME THE OWNER SHALL DETERMINE IF REMOVAL IS NECESSARY.

WARRANTY
ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF ONE-YEAR FROM SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER.

IRRIGATION SYSTEM
IRRIGATION CONTRACTOR TO INSTALL NEW IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE FOR AFFECTED TURF AND BED AREAS.

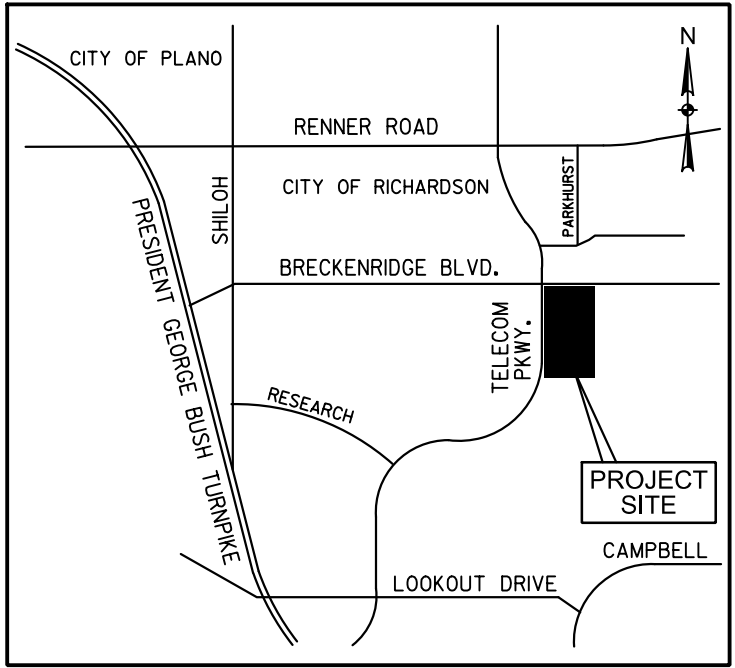
PLANT SCHEDULE - RICHARDSON DATA CENTER							
QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	GENERAL NOTES
TREES							
11	Lacebark Elm	<i>Ulmus parviflora</i>	3" Cal.	10'-12'	8'-10'	As Shown	Nursery Grown, Full, Healthy, Well Formed, Straight Trunk, 5' Branching Ht. Min., Matching,
18	Bur Oak	<i>Quercus macrocarpa</i>	3" Cal.	10'-12'	8'-10'	As Shown	Nursery Grown, Full, Healthy, Well Formed, Straight Trunk
9	Crape Myrtle 'Tuscorora'	<i>Lagerstroemia indica 'Tuscorora'</i>	3" Cal.	8'-10'	4'-6"	As Shown	M/T, 3 Cane Min/5 Cane Max, w/ Min. Cane Size no Smaller Than 1"
54	Savannah Holly	<i>Ilex x attenuata 'Savannah'</i>	45 Gal.	8'	4'-6"	As Shown	Container Grown, Full, Healthy, Well Formed, Straight Trunk
SHRUBS							
35	Burford Holly	<i>Ilex burfordii</i>	5 Gal.	1'-3'	1'-3'	5' O.C.	Nursery Grown, Full, Healthy, Well Formed
21	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	3 Gal.	1'-3'	1'-3'	3' O.C.	Nursery Grown, Full, Healthy, Well Formed
ORNAMENTAL GRASSES AND GROUNDCOVERS							
15	Pampas Grass	<i>Cortaderia selloana</i>	5 Gal.	2'-4'	2'-4'		Nursery Grown, Full, Healthy, Well Formed, Container Full
43	Miscanthus 'Gracillamus'	<i>Miscanthus sinensis 'Gracillamus'</i>	3 Gal.	2'-4'	2'-4'	24" O.C.	Nursery Grown, Full, Healthy, Well Formed, Container Full
2,896	Asian Jasmine	<i>Trachelospermum asiaticum</i>	1 Gal.	6"	10"-12"	18" O.C.	Nursery Grown, Full, Healthy, Well Formed
GRASS SEED AND SOD							
T.B.D.	Bermuda Grass Sod	<i>Cynodon dactylon</i>	SOLID SOD				
T.B.D.	Prairie Starter Seed Mix	<i>Prairie Starter Mix</i>			HYDRO-SEED: 16LBS/ACRE		
							Seed mix per Native American Seed at 1.800.728.4043. MIX SEED WITH TACKIFIER ONLY! After Hydoseed is applied, apply coat of Hydromulch over Hydoseed. Native seeds need direct contact with soil, DO NOT MIX WITH HYDROMULCH.

GENERAL LAWN NOTES:

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL PROVIDE (2") TWO INCHES OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN. ADD LATERNATE
- IMPORTED TOPSOIL SHALL BE NATURAL FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY OWNERS CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS ¾" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.



1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081-2275
TEL (214) 346-8200
FAX (214) 739-0095
TPE FIRM # F-312



LOCATION MAP
N.T.S.
MAPSCO 9K

Drawing Issue & Revision Status

REV#	DATE	DRAWN BY	ISSUE
A	06/13/2011	HALFF	PRESUBMITTAL
B	06/20/2011	HALFF	FINAL PACKAGE
C	07/05/2011	HALFF	CITY SUBMITTAL
D	07/26/2011	HALFF	CITY SUBMITTAL
E	07/29/2011	HALFF	FINAL DEV. SUBMITTAL
F	08/09/2011	HALFF	REV. FINAL DEV. SUBMTL.

Integrated Design Group

Integrated Design Group, Inc.

102 Decker Court
Irving, TX 75062

T +1 972.717.1818
F +1 972.717.1811

www.idgroupae.com

Bank of America



RTX RICHARDSON DATA CENTER
LOT 1D, BLOCK B
SHILOH BUSINESS PARK
3000 TELECOM PARKWAY
RICHARDSON, TX 75082

SHEET NAME:

**LANDSCAPE
DETAILS**

IDG Prj. No. 1031101

ISSUE DATE: 08/11/2011

HAI AVO No. 28165

SHEET NUMBER:

CHECKED BY:

L2.02

Agenda

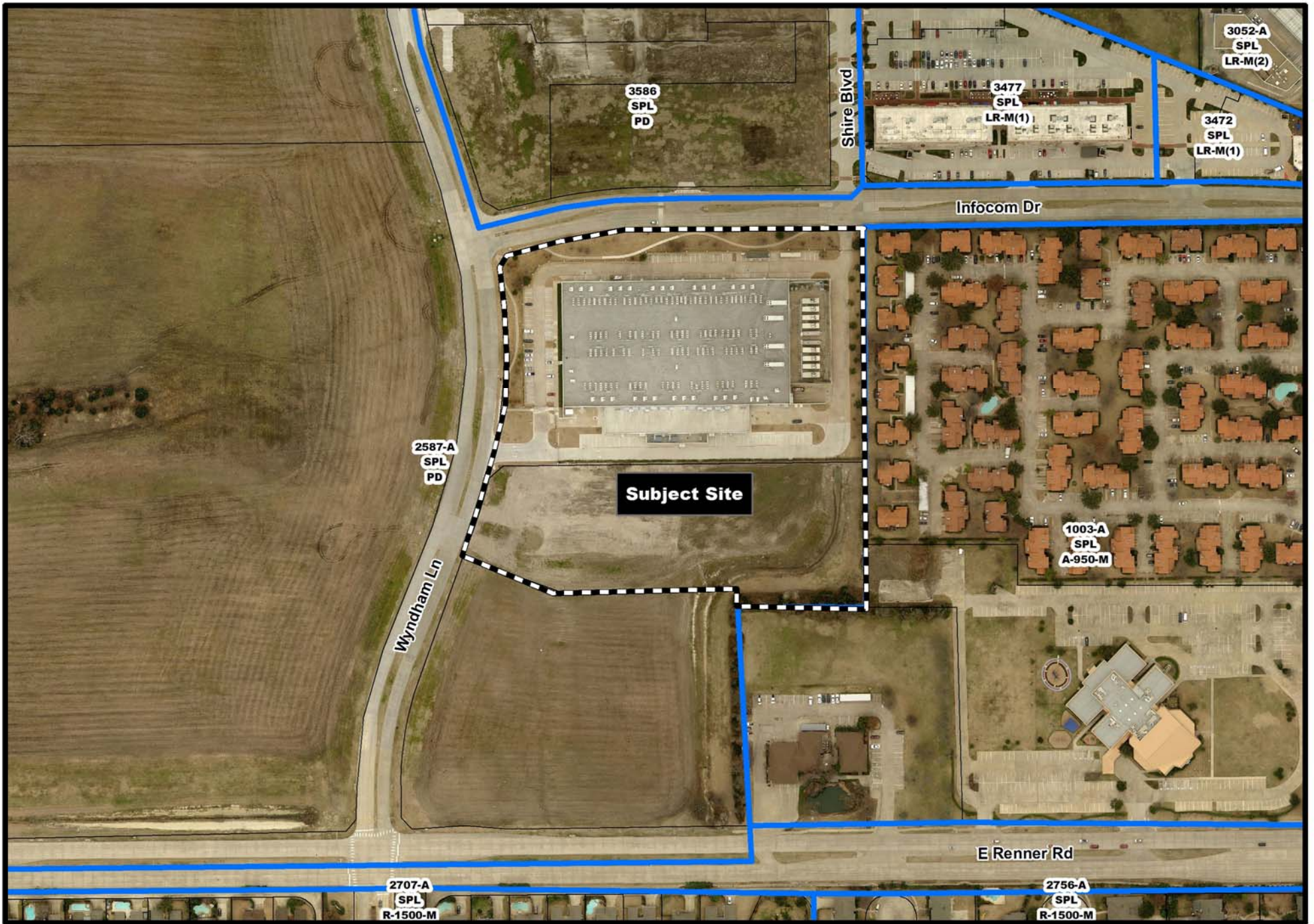
Item 5

Replat Galatyn Park North

(Companion to agenda item No. 3)

Attachments:

1. Locator
2. Replat staff report
3. Replat



**Bank of America Data Center: 3510 Wyndham Lane
Lot 1C, Block A of the Galatyn Park North Addition**



**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

Public Hearing on a Replat

PROJECT SUMMARY

Subdivision:	Galatyn Park North, Lot 1C, Block A being an replat of the Galatyn Park North Addition, Lots 1B and 2A, Block A
Location:	3510 Wyndham Lane Southeast corner of Wyndham Lane and Infocom Drive.
Staff Comments:	The purpose of this replat is to dedicate easements and combine two (2) lots into one (1) legal lot of record for the development of a 18,300 square foot building at the existing Bank of America data center. The replat complies with City subdivision regulations.
CPC Action:	Final decision

BACKGROUND

Tract Size:	11.79-acres (531,536 square feet)
Zoning:	PD Planned Development District (Ordinance No. 2587-A; Tract R-13B & R-14)
Right-of-way Dedication:	None required
Easements/Setbacks:	
Existing to Remain	10' street easement at the northwest corner of the site; 30' drainage easement at the southeast corner of the site; 40' landscape and pedestrian easement along the western and northern property lines; Various utility and franchise easements.
<i>Dedicated by this Plat</i>	10' utility easement to serve the proposed building.
<i>Abandoned by this Plat</i>	None

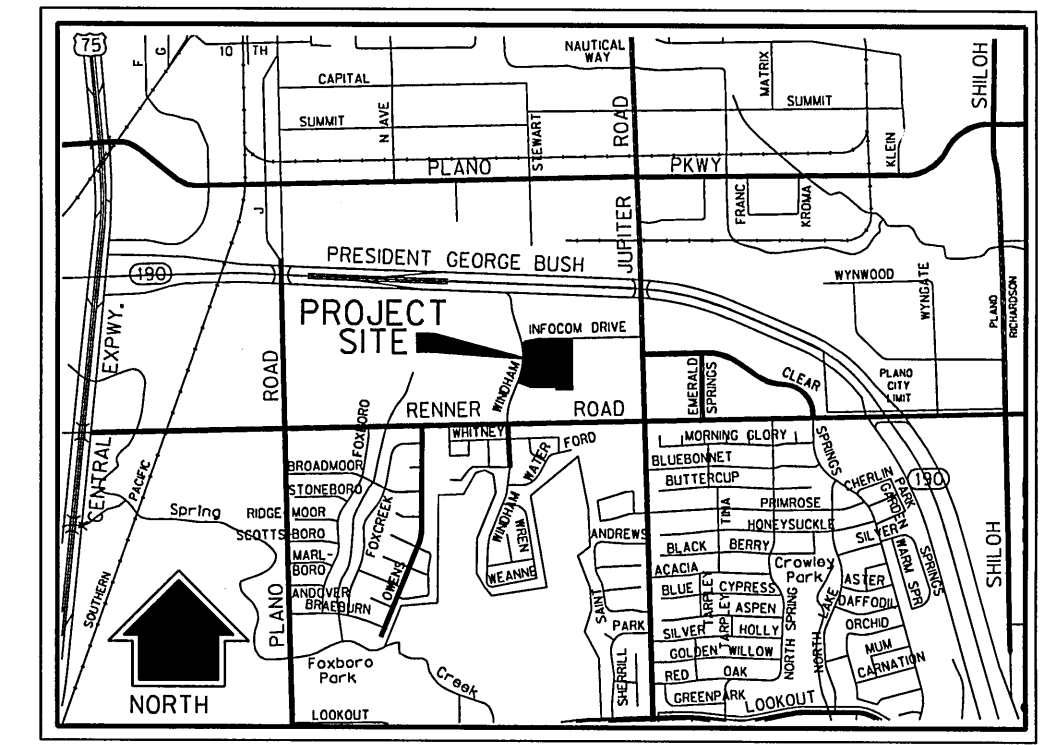
THE SHIRE PHASE 2
(DOC. NO. 20070726010002450)
O.P.R.C.C.T.

THE SHIRE
(DOC. NO. 2005-0026800)
O.P.R.C.C.T.

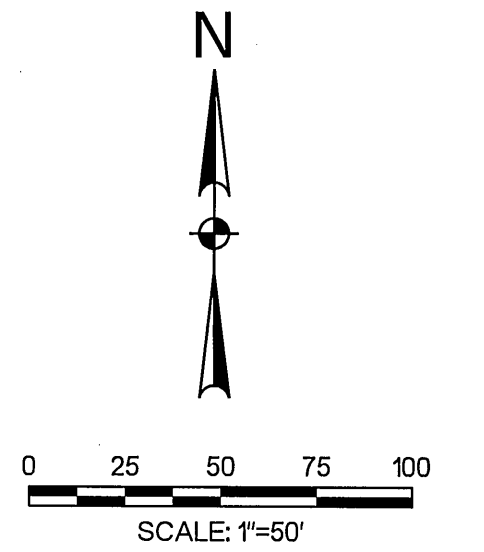
$\Delta = 11^{\circ}57'34''$
 $R = 957.50'$
 $T = 100.30'$
 $L = 199.86'$
 $C.L. = 199.50'$
 $C.B. = N83^{\circ}23'15''E$

SHIRE BOULEVARD
(63' ROW)

INFOCOM DRIVE
(85' ROW)



LOCATION MAP
NOT TO SCALE



POINT OF BEGINNING

$N33^{\circ}55'10''E$
 $36.28'$

$\Delta = 30^{\circ}39'58''$
 $R = 1,042.50'$
 $T = 285.84'$
 $L = 557.97'$
 $C.L. = 551.34'$
 $C.B. = N06^{\circ}27'05''E$

F. J. VANCE SURVEY, ABSTRACT NO. 939

GALATYN PARK NORTH,
LOT 1B, BLOCK A
(DOC. NO. 20090917010002380)
O.P.R.C.C.T.

(OWNER)
BRACEBRIDGE CORPORATION
(VOL. 5479, PG. 6838)
O.P.R.C.C.T.

LOT 1C, BLOCK A,
GALATYN PARK NORTH
513,536 SQ. FT.
OR
11.79 ACRES

GALATYN PARK NORTH,
LOT 2A, BLOCK A
(DOC. NO. 20080905010003180)
O.P.R.C.C.T.

(OWNER)
RICHARDSTON CHURCH OF THE NAZARENE

LOT 1A, BLOCK A
RICHARDSON TRAILS
(VOL. L, PG. 119)
O.P.R.C.C.T.

**LOT 1C, BLOCK A,
GALATYN PARK NORTH
BEING A REPLAT OF GALATYN PARK
NORTH ADDITION, LOT 1B, BLOCK A
DOC. NO. 20090917010002380 AND
LOT 2A, BLOCK A GALATYN PARK NORTH
DOC. NO. 20080905010003180**

ADDRESS: 3510 WYNDHAM LANE
RICHARDSON, TX. 75082
SITUATED IN THE

F. J. VANCE SURVEY ABSTRACT NO. 939
CITY OF RICHARDSON, COLLIN COUNTY, TEXAS

FOR
BANK OF AMERICA, N.A.



HALFF ASSOCIATES, INC. ENGINEERS - SURVEYORS
1201 NORTH BOWSER ROAD RICHARDSON, TEXAS 75081
SCALE: 1"=50' TELE: (214) 346-6200 AVO. 28164 DATE: JUNE, 2011

8/5/2011 2:18:48 PM I:\26000\28164\CADD\Sheets\1501-FPD-128164.dgn 2E-KIP-MON-FS-FW.dwg Design

LEGEND:
5/8" FIR 5/8-INCH FOUND IRON ROD
1/2" SIR 1/2 INCH SET IRON ROD WITH
W/CAP YELLOW PLASTIC CAP STAMPED "HALFF"
(C.M.) CONTROL MONUMENT

LEGAL DESCRIPTION

WHEREAS Bracebridge Corporation, a Delaware Corporation is the owner of a tract of land situated in the F. J. Vance Survey, Abstract Number 839, City of Richardson, Collin County, Texas, and being all of Lot 1B, Block A, Galatyn Park North Addition, an addition to the City of Richardson, as recorded in Document Number 2009091710002380 of the Official Public Records of Collin County, Texas (O.P.R.C.C.T.), all of Lot 2A, Block A, Galatyn Park North, an addition to the City of Richardson, as recorded in Document Number 20080905010003180, and all of that tract of land described in Special Warranty deed to said Bracebridge Corporation, as recorded in Volume 5479, Page 6838, O.P.R.C.C.T., and being more particularly described as follows:

BEGINNING at a 5/8-inch found iron rod with cap stamped =KHAM on the south right-of-way line of Infocom Drive (a called 85-foot right-of-way) for the northern point of a corner clip at the intersection of the east right-of-way line of Wyndham Lane (a called 85-foot wide right-of-way) with the south line of said Infocom Drive, said point also being on the north line of said Lot 1B, Block A, Galatyn Park North;

THENCE North 77 degrees 24 minutes 28 seconds East, along said south right-of-way line of Infocom Drive and said north line of Lot 1B, Block A, a distance of 91.43 feet to a 5/8-inch found iron rod with cap stamped =KHAM for the point of curvature of a tangent circular curve to the right having a radius of 957.50 feet, whose chord bears North 83 degrees 23 minutes 15 seconds East, a distance of 199.50 feet;

THENCE in an Easterly direction, continuing along said south right-of-way line of Infocom Drive, said north line of Lot 1B, Block A, and along said cap, through a central angle of 11 degrees 57 minutes 34 seconds, an arc distance of 199.86 feet to a 5/8-inch found iron rod with cap stamped =KHAM for the point of tangency;

THENCE North 89 degrees 22 minutes 02 seconds East, continuing along said south right-of-way line of Infocom Drive and said north line of Lot 1B, Block A, a distance of 406.74 feet to an "X" cut found in concrete for the common northeast corner of said Lot 1B, Block A, and northwest corner of Phase I of Richardson Trails, an addition to the City of Richardson, as recorded in Volume D, Page 7, O.P.R.C.C.T.;

THENCE South 00 degrees 33 minutes 40 seconds East, departing said south right-of-way line of Infocom Drive and said north line of Lot 1B, Block A, and along the west line of said Phase I, Richardson Trails and east line of said Lot 1B, Block A, a distance of 458.56 feet the common southeast corner of said Lot 1B, Block A and northeast corner of said Lot 2A, Block A, and continuing along said west line of Phase I of Richardson Trails and east line of said Lot 2A, Block A, passing at a cumulative distance of 608.26 feet a 5/8-inch found iron rod with cap stamped "BDD" for the common southwest corner of said Phase I, Richardson Trails and northwest corner of Lot 1A, Block A of Richardson Trails, an addition to the City of Richardson, as recorded in Volume L, Page 119, O.P.R.C.C.T., and continuing along said east line of Lot 2A, Block A, Galatyn Park North and west line of said Lot 1A, Block A, Richardson Trails, in all a total distance of 743.80 feet to a 5/8-inch found iron rod with cap stamped =KHAM for the southeast corner of said Lot 2A, Block A, Galatyn Park North, said point also being on the north line of that tract of land described in General Warranty deed to the City of Richardson, as recorded in Volume 1422, Page 497, O.P.R.C.C.T.;

THENCE North 89 degrees 42 minutes 07 seconds West, departing said west line of Lot 1A, Block A, Richardson Trails and along the south line of said Lot 2A, Block A, Galatyn Park North and said north line of City of Richardson tract, a distance of 252.85 feet to a point for corner from which a 1/2-inch found iron rod bears North 56 degrees 52 minutes West, a distance of 0.3 feet, said point also being on the east line of that tract of land described in Special Warranty deed to Bush/75 Partners L.P., as recorded in Document Number 20090828001082150, O.P.R.C.C.T.;

THENCE North 01 degree 24 minutes 10 seconds West, continuing along said south line of Lot 2A, Block A, Galatyn Park North and along said east line of Bush/75 Partners L.P. tract, a distance of 33.85 feet to a 5/8-inch found iron rod with cap stamped =KHAM for the northeast corner of said Bush/75 Partners L.P. tract;

THENCE South 89 degrees 18 minutes 01 second West, continuing along said south line of Lot 2A, Block A, Galatyn Park North and along the north line of said Bush/75 Partners L.P. tract, a distance of 350.15 feet to a 5/8-inch found iron rod for corner;

THENCE North 69 degrees 56 minutes 06 seconds West, continuing along said south line of Lot 2A, Block A, Galatyn Park North and along the north line of said Bush/75 Partners L.P. tract, a distance of 199.53 feet to a 5/8-inch found iron rod with cap stamped =KHAM for the southwest corner of said Lot 2A, Block A, Galatyn Park North, said point also being the northwest corner of said Bush/75 Partners L.P. tract and on said east right-of-way line of Wyndham Lane;

THENCE North 21 degrees 47 minutes 04 seconds East, departing said north line of Bush/75 Partners L.P. tract and along said east right-of-way line of Wyndham Lane and west line of said Lot 2A, Block A, Galatyn Park North, a distance of 20.55 feet to a 5/8-inch found iron rod with cap stamped =KHAM for the point of curvature of a tangent circular curve to the left having a radius of 1042.50 feet, whose chord bears North 06 degrees 27 minutes 05 seconds East, a distance of 551.34 feet;

THENCE in a Northerly direction, continuing along said east right-of-way line of Wyndham Lane and west line of said Lot 2A, Block A, Galatyn Park North and along said tangent circular curve to the left, passing at an arc distance of 142.47 feet the northwest corner of said Lot 2A, Block A, Galatyn Park North and southwest corner of said Lot 1B, Block A, Galatyn Park North, and continuing along said east right-of-way line of Wyndham Lane and west line of said Lot 1B, Block A, Galatyn Park North and along said tangent circular curve to the left through a total central angle of 30 degrees 39 minutes 58 seconds, in all a total arc distance of 557.97 feet to a 5/8-inch found iron rod with cap stamped "KHA" for the southern point of the aforementioned corner clip at the intersection of said east right-of-way line of Wyndham Lane with said south right-of-way line of Infocom Drive;

THENCE North 33 degrees 55 minutes 10 seconds East, departing said east right-of-way line of Wyndham Lane and continuing along said west line of Lot 1B, Block A, Galatyn Park North and along said corner clip, a distance of 36.28 feet to the POINT OF BEGINNING AND CONTAINING 513,536 square feet or 11.79 acres of land more or less.

State of Illinois
COOK County
City of Chicago

That I (we), BRACEBRIDGE CORPORATION, being the owner(s) of the hereinafter described property, do hereby adopt this plat designating the herein described property as the LOT 1C, BLOCK A, GALATYN PARK NORTH Subdivision, an addition to the City of Richardson, Collin County, Texas. I (we) do hereby dedicate to the public use forever the streets and alleys shown thereon. The easements shown thereon are hereby reserved for purposes as indicated. The utility and access easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and access easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or replaced upon, over or across the easements as shown, said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. All and any public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

I (we) do hereby dedicate the mutual access easements shown thereon for use by the public as a means of pedestrian and vehicle access to the property shown thereon and to the adjacent property thereon.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Richardson, Texas

EXECUTED THIS 8TH day of AUGUST, 2011

OWNER
Susan L. Aardema

STATE OF ILLINOIS
COUNTY OF COOK

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Susan L. Aardema, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s) he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 8TH day of August, 2011

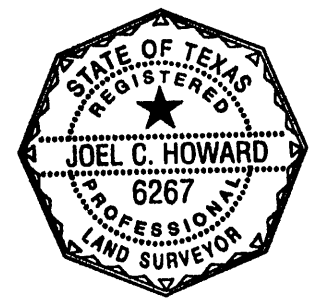
NOTARY PUBLIC in and for the STATE OF ILLINOIS



SURVEYOR'S CERTIFICATE

I, Joel C. Howard, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were found and/or placed under by personal supervision in accordance with Platting Rules and regulations of the City Planning Commission of the City of Richardson, Texas.

JOEL C. HOWARD
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS NO. 6267

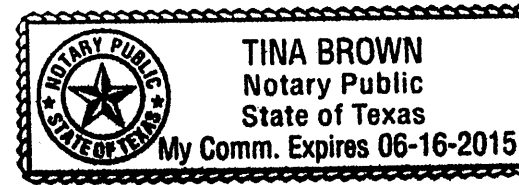


STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Joel C. Howard, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s) he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 5TH day of August, 2011

NOTARY PUBLIC in and for the STATE OF TEXAS



NOTES

1. The BASIS OF BEARING is the Texas Coordinate System of 1983, North Central Zone 4202 based on GPS measurements to City of Richardson monuments N-10 and M-23. All coordinates shown hereon are grid coordinates. All distances shown hereon are surface distances derived by a Scale Factor of 1.000152710.

Approved
Oncor Electric Delivery
By: [Signature]
Date: 8-9-11

UTILITY EASEMENT LINE TABLE with columns: NO., BEARING, DIST. Rows F1-F43.

CABLE & UTILITY EASEMENT TABLE with columns: NO., BEARING, DIST. Rows L1-L20.

Table with columns: NO., BEARING, DIST. Rows L21-L40.

CABLE & UTILITY EASEMENT CURVE DATA TABLE with columns: NO., DELTA, RADIUS, TANGENT, LENGTH, CL, CHORD BEARING. Rows L31-L71.

30' DRAINAGE EASEMENT CURVE DATA TABLE with columns: NO., DELTA, RADIUS, TANGENT, LENGTH, CL, CHORD BEARING. Rows D1-D9.

DRAINAGE LINE TABLE with columns: NO., BEARING, DIST. Rows D1-D10.

LANDSCAPE AND PEDESTRIAN EASEMENT TABLE with columns: NO., BEARING, DIST. Rows P1-P9.

LANDSCAPE AND PEDESTRIAN EASEMENT CURVE DATA TABLE with columns: NO., DELTA, RADIUS, TANGENT, LENGTH, CL, CHORD BEARING. Rows P2-P8.

S.W. BELL TELEPHONE AND ONCOR EASEMENT TABLE with columns: NO., BEARING, DIST. Rows E1-E14.

S.W. BELL TELEPHONE AND ONCOR EASEMENT CURVE DATA TABLE with columns: NO., DELTA, RADIUS, TANGENT, LENGTH, CL, CHORD BEARING. Rows E5-E15.

THE PURPOSE OF THIS PLAT IS TO COMBINE LOT 1B, BLOCK A, GALATYN PARK NORTH AND LOT 2A, BLOCK A, GALATYN PARK NORTH INTO LOT 1C, BLOCK A, GALATYN PARK NORTH.

LOT 1C, BLOCK A, GALATYN PARK NORTH BEING A REPLAT OF GALATYN PARK NORTH ADDITION, LOT 1B, BLOCK A DOC. NO. 20090917010002380 AND LOT 2A, BLOCK A GALATYN PARK NORTH DOC. NO. 20080905010003180

ADDRESS: 3510 WYNDHAM LANE RICHARDSON, TX. 75082 SITUATED IN THE F. J. VANCE SURVEY ABSTRACT No. 939 CITY OF RICHARDSON, COLLIN COUNTY, TEXAS FOR BANK OF AMERICA, N.A.



HALFF ASSOCIATES, INC. ENGINEERS - SURVEYORS 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 SCALE: 1"=50' TELE. (214) 346-6200 AVD. 28164 DATE: JUNE, 2011

Agenda

Item 6

Replat Shiloh Business Park

(Companion to agenda item No. 4)

Attachments:

1. Locator
2. Replat staff report
3. Replat



**Bank of America Data Center: 3000 Telecom Parkway
Lot 1D, Block B of the Shiloh Business Park Addition**



**CITY PLAN COMMISSION
BACKGROUND INFORMATION
August 16, 2011**

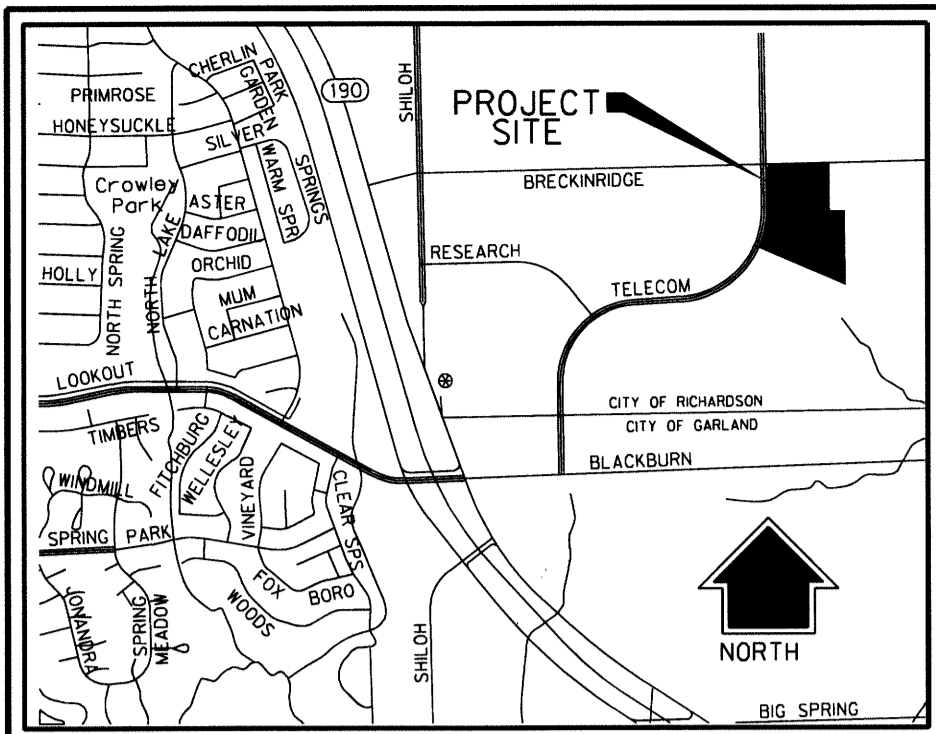
Public Hearing on a Replat

PROJECT SUMMARY

Subdivision:	Shiloh Business Park, Lot 1D, Block B being a replat of Lots 1C and 3, Block B of the Shiloh Business Park
Location:	3000 Telecom Parkway Southeast corner of Telecom Parkway and Breckinridge Parkway.
Staff Comments:	The purpose of this replat is to combine two (2) lots into one (1) legal lot of record to accommodate the development of a 18,430 square foot data center. The replat complies with City subdivision regulations.
CPC Action:	Final decision

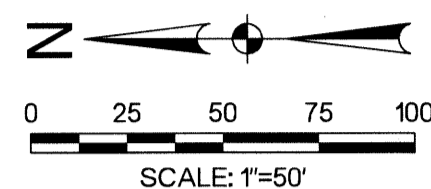
BACKGROUND

Tract Size:	19.94-acres (868,786 square feet)
Zoning:	I-M(1) Industrial District
Right-of-way Dedication:	None required
Easements/Setbacks:	
Existing to Remain	10' street easement at the northwest corner of the site; 30' drainage easement at the southeast corner of the site; 40' landscape and pedestrian easement along the western and northern property lines; Various utility and franchise easements.
<i>Dedicated by this Plat</i>	Two (2) 10' utility easements to serve the proposed building; 15' Oncor easement.
<i>Abandoned by this Plat</i>	24' fire lane and access easement; 10' utility easement along the southern property line.



LOCATION MAP
NOT TO SCALE

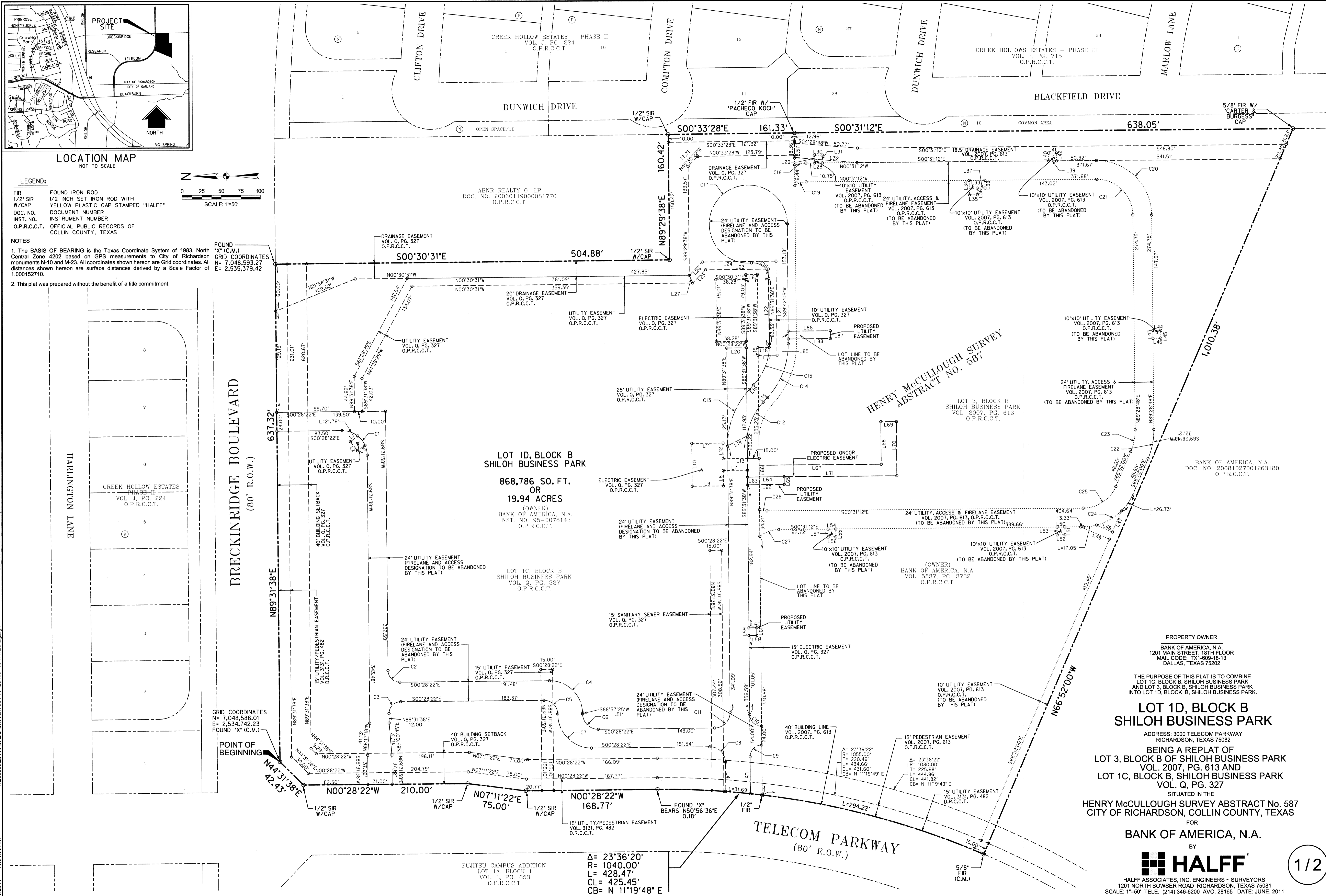
- LEGEND:**
- FIR FOUND IRON ROD
 - 1/2" SIR 1/2 INCH SET IRON ROD WITH
 - W/CAP YELLOW PLASTIC CAP STAMPED "HALFF"
 - DOC. NO. DOCUMENT NUMBER
 - INST. NO. INSTRUMENT NUMBER
 - O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS



NOTES

- The BASIS OF BEARING is the Texas Coordinate System of 1983, North Central Zone 4202 based on GPS measurements to City of Richardson monuments N-10 and M-23. All coordinates shown hereon are Grid coordinates. All distances shown hereon are surface distances derived by a Scale Factor of 1.000152710.
- This plat was prepared without the benefit of a title commitment.

FOUND *X* (C.M.)
 GRID COORDINATES
 N= 7,048,593.27
 E= 2,535,379.42



**LOT 1D, BLOCK B
SHILOH BUSINESS PARK**
 868,786 SQ. FT.
 OR
 19.94 ACRES
 (OWNER)
 BANK OF AMERICA, N.A.
 INST. NO. 95-0078143
 O.P.R.C.C.T.

**LOT 1C, BLOCK B
SHILOH BUSINESS PARK**
 VOL. Q, PG. 327
 O.P.R.C.C.T.

**FUJITSU CAMPUS ADDITION,
LOT 1A, BLOCK 1**
 VOL. L, PG. 653
 O.P.R.C.C.T.

**HENRY McCULLOUGH SURVEY
ABSTRACT NO. 587**

**LOT 1D, BLOCK B
SHILOH BUSINESS PARK**
 ADDRESS: 3000 TELECOM PARKWAY
 RICHARDSON, TEXAS 75082
 BEING A REPLAT OF
 LOT 3, BLOCK B OF SHILOH BUSINESS PARK
 VOL. 2007, PG. 613 AND
 LOT 1C, BLOCK B, SHILOH BUSINESS PARK
 VOL. Q, PG. 327
 SITUATED IN THE
 HENRY McCULLOUGH SURVEY ABSTRACT No. 587
 CITY OF RICHARDSON, COLLIN COUNTY, TEXAS
 FOR
BANK OF AMERICA, N.A.
 BY

HALFF
 HALFF ASSOCIATES, INC. ENGINEERS - SURVEYORS
 1201 NORTH BOWSER ROAD RICHARDSON, TEXAS 75081
 SCALE: 1"=50' TELE. (214) 346-6200 AVO. 28165 DATE: JUNE, 2011

2E, KIP, MON, FS, FW, PH
 L:\28000000\28165\CADD\Sheet\501-FP-28165-ROTATED.dwg
 8/8/2011 10:04:58 AM

CURVE TABLE						
NO.	DELTA	RADIUS	TANGENT	LENGTH	CL	CHORD BEARING
C1	90°00'00"	32.00'	32.00'	50.27'	45.25'	S44°31'36"W
C2	90°00'00"	15.00'	15.00'	23.56'	21.21'	S44°31'36"W
C3	90°00'00"	15.00'	15.00'	23.56'	21.21'	S45°28'24"E
C4	89°04'54"	42.00'	41.33'	65.30'	58.92'	S44°04'03"W
C5	90°11'28"	17.50'	17.56'	27.55'	24.79'	S44°37'20"W
C6	89°04'54"	20.00'	19.68'	31.10'	28.06'	S44°24'58"W
C7	88°36'30"	44.00'	42.94'	68.05'	61.47'	S45°24'49"W
C8	90°00'00"	20.00'	20.00'	31.42'	28.28'	S44°31'38"W
C9	89°59'31"	15.00'	15.00'	23.56'	21.21'	S45°28'37"E
C10	90°00'00"	15.00'	15.00'	23.56'	21.21'	S44°31'38"W
C11	90°00'00"	20.00'	20.00'	31.42'	28.28'	S45°28'22"E
C12	34°30'46"	80.50'	25.01'	48.49'	47.76'	N64°40'41"W
C13	43°17'31"	104.50'	41.47'	78.96'	77.09'	S68°49'36"E
C14	43°17'31"	100.00'	39.69'	75.56'	73.77'	N68°49'37"W
C15	43°17'31"	76.00'	30.16'	57.42'	56.07'	S68°49'37"E
C16	94°28'28"	20.50'	22.17'	33.80'	30.10'	N42°17'24"E
C17	274°28'28"	50.00'	46.24'	239.52'	67.90'	S47°10'09"E
C18	17°10'30"	49.00'	7.40'	14.69'	14.63'	N09°06'04"W
C19	35°24'38"	25.00'	7.98'	15.45'	15.21'	N18°13'31"W
C20	90°00'00"	70.00'	70.00'	109.96'	99.00'	N44°28'34"E
C21	90°00'00"	46.00'	46.00'	72.26'	65.05'	N44°28'48"E
C22	23°39'12"	94.00'	19.68'	38.81'	38.53'	S78°41'46"E
C23	23°39'12"	70.00'	14.66'	28.90'	28.69'	S78°41'36"E
C24	66°20'48"	70.00'	45.76'	81.06'	76.60'	S33°41'50"E
C25	66°20'48"	46.00'	30.07'	53.27'	50.43'	S33°41'36"E
C26	22°12'56"	25.00'	4.91'	9.69'	9.63'	S10°35'16"W
C27	37°42'26"	40.00'	13.66'	26.32'	25.85'	S19°22'25"E

LINE TABLE		
LINE	BEARING	LENGTH
L1	N37°57'30"W	12.00'
L2	N52°02'30"E	15.00'
L3	S37°57'30"E	12.00'
L4	S89°31'38"W	37.41'
L5	N89°31'38"E	47.41'
L6	S00°30'31"E	15.00'
L7	N00°28'22"W	31.00'
L8	N89°31'38"E	20.00'
L9	N00°28'22"W	40.00'
L10	N89°31'38"E	55.00'
L11	N00°28'22"W	40.00'
L12	N89°31'38"E	20.00'
L13	N00°28'22"W	46.00'
L14	N26°22'17"W	27.93'
L15	N47°10'51"W	8.20'
L16	S47°10'51"E	8.20'
L17	N00°32'27"W	24.14'
L18	S00°32'27"E	14.12'
L19	S89°27'33"W	10.00'
L20	N00°28'22"W	25.12'
L21	N89°27'33"E	120.14'
L22	S89°27'33"W	100.14'
L23	N00°32'27"W	80.29'
L24	S00°32'27"E	94.43'
L25	N45°33'12"W	23.60'
L26	S45°32'27"E	23.60'
L27	N66°56'22"E	10.83'
L28	N00°31'12"W	10.00'
L29	S89°28'48"W	10.00'
L30	N00°31'12"W	10.00'
L31	S89°28'48"W	10.00'
L32	S04°28'48"W	79.98'
L33	N00°31'12"W	10.00'
L34	S89°28'48"W	10.00'
L35	N00°31'12"W	10.00'
L36	S89°28'48"W	10.00'
L37	N00°31'12"W	10.00'
L38	S89°28'48"W	10.00'
L39	N00°31'12"W	10.00'
L40	S89°28'48"W	10.00'
L41	N00°31'12"W	10.00'
L42	S89°28'48"W	10.00'
L43	S89°28'48"W	10.00'
L44	N00°31'12"W	10.00'
L45	S89°28'48"W	10.00'
L46	N00°31'12"W	10.00'
L47	N66°52'00"W	29.38'
L48	N23°08'00"E	22.24'
L49	N23°08'00"E	39.92'
L50	N00°31'12"W	10.00'
L51	S89°28'48"W	10.00'
L52	N00°31'12"W	10.00'
L53	S89°28'48"W	10.00'
L54	N00°31'12"W	10.00'
L55	S89°28'48"W	10.00'
L56	N00°31'12"W	10.00'
L57	S89°28'48"W	10.00'
L58	S00°29'18"E	10.00'
L59	N89°31'38"E	10.00'
L60	N00°29'18"W	10.00'
L61	S89°31'38"W	10.00'
L62	S00°29'18"E	46.86'
L63	N89°30'42"E	10.00'
L64	N00°29'18"W	46.86'
L65	S89°30'42"W	10.00'
L66	N89°30'42"E	15.00'
L67	S00°29'18"E	155.92'
L68	N89°38'24"E	54.49'
L69	S00°21'36"E	20.00'
L70	S89°38'24"W	69.45'
L71	N00°29'18"W	175.89'

LEGAL DESCRIPTION

WHEREAS Bank of America, N.A. is the owner of a tract of land situated in the Henry McCullough Survey, Abstract Number 587, City of Richardson, Collin County, Texas, and being all of Lot 1C, Block B, Shiloh Business Park, an addition to the City of Richardson as recorded in Volume Q, Page 327 of the Official Public Records of Collin County, Texas (O.P.R.C.C.T.), all of Lot 3, Block B, Shiloh Business Park, an addition to the City of Richardson, as recorded in Volume 2007, Page 613, O.P.R.C.C.T., all of that called 10.00 acre tract of land described in Special Warranty deed to Bank of America, N.A., recorded in Volume 5537, Page 3732, O.P.R.C.C.T., and all of that tract of land described in Special Warranty Deed to Nationsbank Services, Inc (formerly known as NCB Services, Inc., currently known as Bank of America, N.A. per Assistant Secretary's Certificate of Bank of America, National Association, signed by Assistant Secretary Connie B. Smith and dated September 21, 2009), recorded in Instrument Number 95-0078143, O.P.R.C.C.T., and being more particularly described as follows:

BEGINNING at an <XL cut found for the northern point of a corner clip at the intersection of the east right-of-way line of Telecom Parkway (a called 85-foot wide right-of-way) with the south right-of-way line of Breckinridge Boulevard (a called 85-foot wide right-of-way);

THENCE North 89 degrees 31 minutes 38 seconds East, departing said corner clip and along said south right-of-way of Breckinridge Boulevard and along the north line of said Lot 1C, Block B, a distance of 637.32 feet to an "X" cut found for the northeast corner of said Lot 1C, Block B, said point also being the common northwest corner of that tract of land described in General Warranty Deed to ABNR Realty G. LP, recorded in Document Number 20060119000081770, O.P.R.C.C.T., and southwest corner of a street right-of-way easement described in Right-of-Way deed to the City of Richardson, as recorded in Document Number 97-0016632, O.P.R.C.C.T.;

THENCE South 00 degrees 30 minutes 31 seconds East, departing said south right-of-way line of Breckinridge Boulevard and along the west line of said ABNR Realty G. LP tract and east line of said Lot 1C, Block B, a distance of 504.88 feet to a point in a brick column for the southwest corner of said ABNR Realty G. LP tract;

THENCE North 89 degrees 29 minutes 38 seconds East, along the common east line of said Lot 1C, Block B and south line of said ABNR Realty G. LP tract, a distance of 160.42 feet to point from which a 5/8-inch found iron rod with cap stamped "Hutt-Zollars" for the southeast corner of said ABNR Realty G. LP tract bears South 28 degrees 48 minutes 43 seconds West, a distance of 0.23 feet, said point also being on the west line of Creek Hollow Estates, Phase III, an addition to the City of Richardson, as recorded in Volume J, Page 715, O.P.R.C.C.T.;

THENCE South 00 degrees 33 minutes 28 seconds East, departing said south line of ABNR Realty G. LP tract and along the common east line of said Lot 1C, Block B and west line of said Creek Hollow Estates, Phase III, a distance of 161.33 feet to a 1/2-inch found iron rod with cap stamped "PACHECO-KOCH" for the common southeast corner of said Lot 1C, Block B and northeast corner of said Lot 3, Block B, same being the northeast corner of said 10.00 acre Bank of America tract;

THENCE South 00 degrees 31 minutes 12 seconds East, departing said east line of Lot 1C, Block B and along the common east line of said Lot 3, Block B, east line of said 10.00 acre Bank of America tract and west line of said Creek Hollow Estates, Phase III, a distance of 638.05 feet to 5/8-inch found iron rod with cap stamped "CARTER & BURGESS" for the southeast corner of said Lot 3, Block B, same being the southeast corner of said 10.00 acre Bank of America tract and the northeast corner of that called 29.46 acre tract of land described in Special Warranty deed to Bank of America, N.A., recorded in Document Number 20081027001263180, O.P.R.C.C.T.;

THENCE North 66 degrees 52 minutes 00 seconds West, departing said west line of Creek Hollow Estates, Phase III and along the south line of said Lot 3, Block B, same being the south line of said 10.00 acre Bank of America tract and the north line of said 29.46 acre Bank of America tract, a distance of 1010.36 feet to a 5/8-inch found iron rod for the point of beginning of a non-tangent circular curve to the left having a radius of 1040.00 feet, whose chord bears North 11 degrees 19 minutes 48 seconds East, a distance of 425.45 feet, said point also being on said east right-of-way line of Telecom Parkway and the southwest corner of said Lot 3, Block B, same being the southwest corner of said 10.00 acre Bank of America tract and northwest corner of said 29.46 acre Bank of America tract;

THENCE in a Northeasterly direction, along said east right-of-way line of Telecom Parkway, the west line of said Lot 3, Block B and said 10.00 acre Bank of America tract, and along said non-tangent curve to the left, passing at an arc distance of 294.22 feet a 1/2-inch found iron rod for the common northwest corner of said Lot 3, Block B, northwest corner of said 10.00 acre Bank of America tract and southwest corner of said Lot 1C, Block B, and continuing along said east right-of-way line of Telecom Parkway and along said curve, through a total central angle of 23 degrees 36 minutes 20 seconds, a total arc distance of 428.47 feet to the point of tangency from which an "X" cut found in concrete bears North 50 degrees 56 minutes 36 seconds, 0.18 feet;

THENCE North 00 degrees 28 minutes 22 seconds West, continuing along said east right-of-way line of Telecom Parkway and west line of said Lot 1C, Block B, a distance of 168.77 feet to an "X" cut set in concrete for corner;

THENCE North 07 degrees 11 minutes 22 seconds East, continuing along said east right-of-way line of Telecom Parkway and west line of said Lot 1C, Block B, a distance of 75.00 feet to a 1/2-inch set iron rod with cap stamped "HALFF" (hereinafter referred to as with cap);

THENCE North 00 degrees 28 minutes 22 seconds West, continuing along said east right-of-way line of Telecom Parkway and west line of said Lot 1C, Block B, a distance of 210.00 feet to a 1/2-inch set iron rod with cap for the southern point of the aforementioned corner clip at the intersection of said east right-of-way line of Telecom Parkway with said south right-of-way line of Breckinridge Boulevard;

THENCE North 44 degrees 31 minutes 38 seconds East, departing said east right-of-way line of Telecom Parkway and along said corner clip, a distance of 42.43 feet to the POINT OF BEGINNING AND CONTAINING 868,786 square feet or 19.94 acres of land more or less.

State of Texas
Collin County
City of Richardson

That I (we), BANK OF AMERICA, N.A., being the owner(s) of the hereinafter described property, do hereby adopt this plat designating the herein described property as LOT 1D, BLOCK B, SHILOH BUSINESS PARK Subdivision, an addition to the City of Richardson, Collin County, Texas. I (we) do hereby dedicate to the public use forever the streets and alleys shown thereon. The easements shown thereon are hereby reserved for purposes as indicated. The utility and access easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and access easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or replaced upon, over or across the easements as shown; said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. All and any public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

I (we) do hereby dedicate the mutual access easements shown thereon for use by the public as a means of pedestrian and vehicle access to the property shown thereon and to the adjacent property thereon.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Richardson, Texas

EXECUTED THIS 8th day of August, 2011.

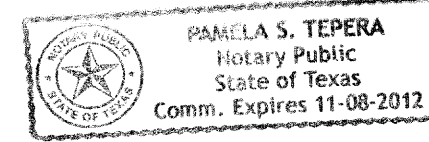
OWNER: *Antonio J. Seals*
UP DEPT. MANAGER/BANK OF AMERICA

STATE OF TEXAS §
COUNTY OF COLLINS §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared *Antonio J. Seals*, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 8th day of August, 2011.

Pamela S. Tepera
NOTARY PUBLIC in and for the STATE OF TEXAS



SURVEYOR'S CERTIFICATE

I, Joel C. Howard, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were found and/or placed under by personal supervision in accordance with Platting Rules and regulations of the City Planning Commission of the City of Richardson, Texas.

Joel C. Howard 08/08/2011

JOEL C. HOWARD
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS NO. 6267

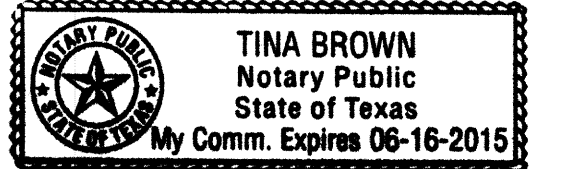


STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared *Joel C. Howard*, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 8th day of August, 2011.

Tina Brown
NOTARY PUBLIC in and for the STATE OF TEXAS



PROPERTY OWNER
BANK OF AMERICA, N.A.
1201 MAIN STREET, 18TH FLOOR
MAIL CODE: TX-1-609-18-13
DALLAS, TEXAS 75202

THE PURPOSE OF THIS PLAT IS TO COMBINE
LOT 1C, BLOCK B, SHILOH BUSINESS PARK
AND LOT 3, BLOCK B, SHILOH BUSINESS PARK
INTO LOT 1D, BLOCK B, SHILOH BUSINESS PARK.

LOT 1D, BLOCK B
SHILOH BUSINESS PARK

ADDRESS: 3000 TELECOM PARKWAY
RICHARDSON, TEXAS 75082

BEING A REPLAT OF
LOT 3, BLOCK B OF SHILOH BUSINESS PARK
VOL. 2007, PG. 613 AND
LOT 1C, BLOCK B, SHILOH BUSINESS PARK
VOL. Q, PG. 327
SITUATED IN THE

HENRY McCULLOUGH SURVEY ABSTRACT No. 587
CITY OF RICHARDSON, COLLIN COUNTY, TEXAS

FOR
BANK OF AMERICA, N.A.



HALFF ASSOCIATES, INC. ENGINEERS - SURVEYORS
1201 NORTH BOWSER ROAD RICHARDSON, TEXAS 75081
SCALE: 1"=50' TELE. (214) 346-6200 AVO. 28165 DATE: JUNE, 2011