

## City Council Work Session Handouts

February 27, 2020

- I. Review and Discuss Zoning File 19-33
- II. Review and Discuss Zoning File 19-34
- III. Review and Discuss Zoning File 19-35
- IV. Review and Discuss Zoning File 20-01



**RICHARDSON**

**T E X A S**

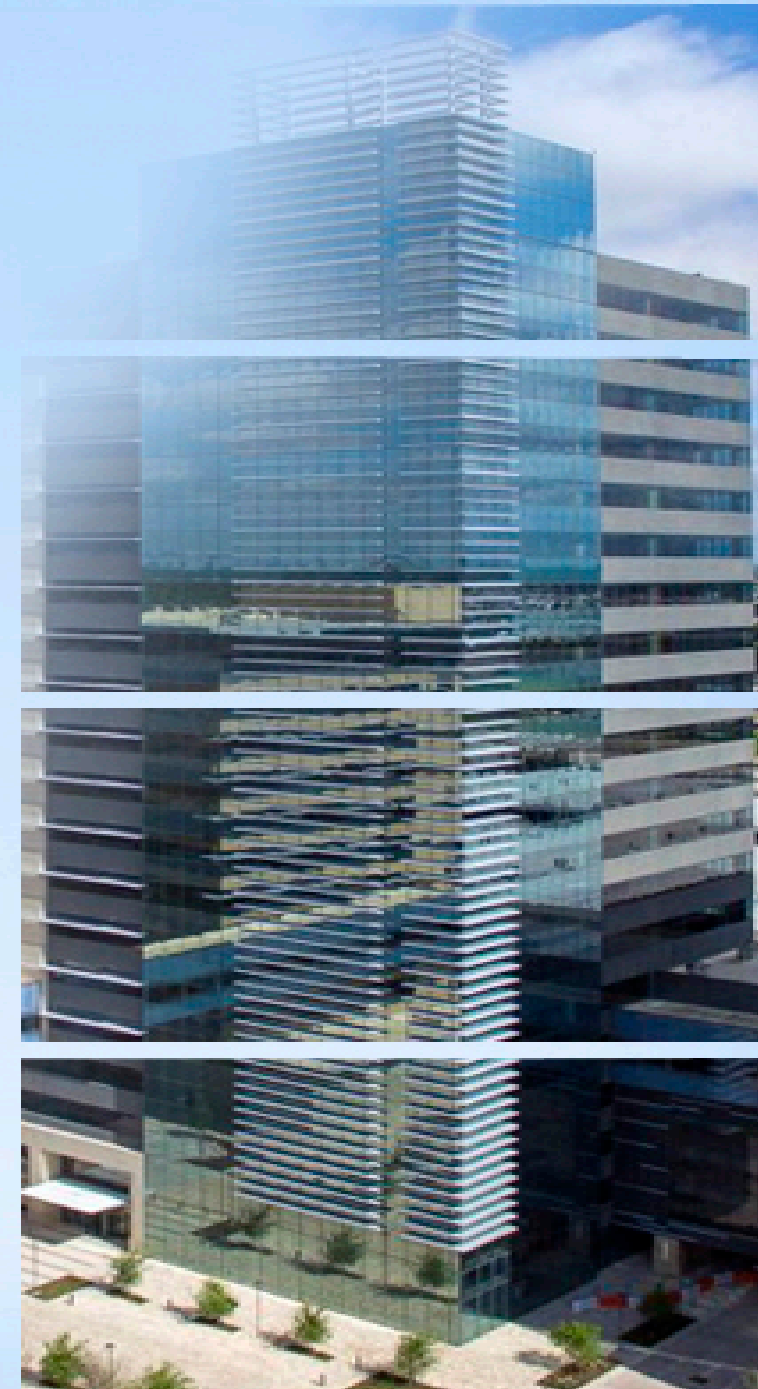
# Agenda Item 6

Zoning File 19-33

Special Permit

(Motorcycle Training Facility)

City of Richardson  
Development Services



**ZF 19-33**

N Plano Rd

University Dr

N Yale Blvd

E Belt Line Rd

Dawn Cir

Clover Trl

**SUBJECT PROPERTY**

Serenade Ln

Butler Dr

Windsong Trl

S Yale Blvd

Mackie Dr

S Plano Rd

Rainbow Dr

Bates Dr

Alto Dr

Carleton Dr

Morningstar Trl

Rusk Dr

Mayflower Dr

E Spring Valley Rd



Services

ZF 19-33

N Plano Rd

University Dr

N Yale Blvd

E Belt Line Rd

Dawn Cir

Clover Trl

SUBJECT PROPERTY

Lowe's

Serenade Ln

Butler Dr

Windsong Trl

S Yale Blvd

Mackie Dr

S Plano Rd

Rainbow Dr

Bates Dr

Alto Dr

Carleton Dr

Morningstar Trl

Rusk Dr

Mayflower Dr

E Spring Valley Rd



Services

MATCH LINE (RE: PLAN B)



VICINITY MAP  
NOT TO SCALE

NOT PART  
OF PLAN.  
SEE  
SHEET  
SOS & PLAN  
7/6/16

SEE  
SOS & PLAN  
11/17/10

PLAN A  
ROAD

GARDEN CENTER  
31,568 S.F.

**LOWE'S**  
177K DEEP  
139,410 S.F.  
FF=637.50

PROPOSED RETAIL  
10,336 S.F.

PROPOSED ROSS  
30,000 S.F.

TARGET

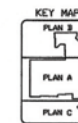
LEGEND

- PROPOSED WATER LINE (SIZE VARIES)
- PROPOSED SANITARY SEWER LINE (SIZE VARIES)
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED FIRE HYDRANT
- FINISHING COUNT (PUMP RETURNS NOT INCLUDED)
- FIRE LINE
- LIMITS OF PAYMENT GENERAL

BUTLER DRIVE

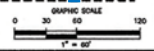
BATES DR

- Driving Instruction Area
- Student Parking Area
- Barricade Area line with Cones
- Existing 6-foot Masonry Wall
- MTC Container Location



EXISTING CONDITIONS  
LEGEND

○ FIRE HYDRANT	○ GAS VALVE
○ CHISELED "X" SET	○ WATER VALVE
○ CHISELED "X" FOUND	○ EXISTING TREES TO REMAIN
○ IRON ROD FOUND (SIZE AS NOTED)	○ MANHOLE (TYPE AS NOTED)
○ IRON ROD SET (SIZE AS NOTED)	○ TRAFFIC SIGNAL BOX
○ OVERGROUND UTILITY POLE W/ SET	○ ELECTRIC TRANSFORMER BOX
○ UNDERGROUND ELECTRIC OR TELEPHONE	○ ELECTRIC TRANSMISSION STEEL TOWER
○ EX LIGHT POLE TO REMAIN	○ UNDERGROUND CABLE MANHOLE
○ SANITARY SEWER MANHOLE	○ EXISTING STRIPING TO REMAIN
○ SAIL SIGN, CLEAN OUT	○ EXISTING CURB AND GUTTER TO REMAIN



MATCH LINE (RE: PLAN C)

ZOING EXHIBIT  
EXHIBIT "B"

RICHARDSON SQUARE ADDITION  
43.52 ACRES  
DALLAS COUNTY, TEXAS

SHEET  
NO.

DESIGN	DRAWN	DATE	SCALE	NOTES

MATCH LINE (RE: PLAN B)



VICINITY MAP  
NOT TO SCALE

### Added Conditions

- Restricted to applicant per CZO
- Hours: 7AM – 6 PM
- Cones placed 24 hrs. in advance
  - removed immediately after
- 2 storage containers

NOT PART OF PLAN. SEE SDS S. PLAN 7/6/16

SEE SDS S. PLAN 11/17/10

PLANNED ROAD

GARDEN CENTER  
31,568 S.F.

**LOWE'S**  
117K DEEP  
139,410 S.F.  
FF=637.50

PROPOSED RETAIL  
10,336 S.F.

PROPOSED ROSS  
30,000 S.F.

TARGET

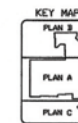
LEGEND

- PROPOSED WATER LINE (SIZE VARIES)
- PROPOSED SANITARY SEWER LINE (SIZE VARIES)
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED FIRE WHERVEHENT
- PARKING COUNT (PURT RETURNS NOT INCLUDED)
- FIRE LINE
- LIMITS OF PAYMENT CONTROL

BUTLER DRIVE

BATES DR

- Driving Instruction Area
- Student Parking Area
- Barricade Area line with Cones
- Existing 6-foot Masonry Wall
- MTC Container Location



EXISTING CONDITIONS LEGEND

FIRE WHERVEHENT	GAS VALVE
CHISELED "X" SET	WATER VALVE
CHISELED "X" FOUND	EXISTING TREES TO REMAIN
IRON ROD FOUND (SIZE AS NOTED)	MANHOLE (TYPE AS NOTED)
IRON ROD SET (SIZE AS NOTED)	TRAFFIC SIGNAL BOX
UNDERGROUND ELECTRIC OR TELEPHONE	ELECTRIC TRANSMISSION STEEL TOWER
EX LIGHT POLE TO REMAIN	UNDERGROUND CABLE MANHOLE
SANITARY SEWER MANHOLE	EXISTING STRIPING TO REMAIN
SAIL SIGN, CLEAN OUT	EXISTING CURB AND GUTTER TO REMAIN



MATCH LINE (RE: PLAN C)

DESIGN	DRAWN	DATE	SCALE	NOTES

ZOING EXHIBIT  
EXHIBIT "B"

RICHARDSON SQUARE ADDITION  
43.52 ACRES  
DALLAS COUNTY, TEXAS

SHEET NO.

Looking south on Butler Drive



Looking south on St. Johns







R

MATCH LINE (RE: PLAN B)



**Added Conditions**

- Restricted to applicant per CZO
- Hours: 7AM – 6 PM
- Cones placed 24 hrs. in advance
  - removed immediately after
- 2 storage containers

GARDEN CENTER  
31,568 S.F.

**LOWE'S**  
117K DEEP  
139,410 S.F.  
FF=637.50

PROPOSED RETAIL  
10,336 S.F.

PROPOSED ROSS  
30,000 S.F.

TARGET

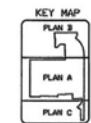
LEGEND

- PROPOSED WATER LINE (SIZE VARIES)
- PROPOSED SANITARY SEWER LINE (SIZE VARIES)
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED FIRE WHERVEHENT
- PARKING COUNT (PURT RETURNS NOT INCLUDED)
- FIRE LANE
- LIMITS OF PAYMENT CONTROL

- Driving Instruction Area
- Student Parking Area
- Barricade Area line with Cones
- Existing 6-foot Masonry Wall
- MTC Container Location

EXISTING CONDITIONS LEGEND

FIRE WHERVEHENT	GAS VALVE
CHISELED "X" SET	WATER VALVE
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IRON ROD FOUND (SIZE AS NOTED)	MANHOLE (TYPE AS NOTED)
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SAIL SIGN, CLEAN OUT	EXISTING CURB AND GUTTER TO REMAIN



MATCH LINE (RE: PLAN C)

NOT PART OF PLAN. SEE SDS S. PLAN 7/6/16  
PLAN A ROAD

**BANK OF AMERICA**  
(SEE SHEET CSP-D FOR DETAILED SITE PLAN)

ZOING EXHIBIT  
EXHIBIT "B"

RICHARDSON SQUARE ADDITION  
43.52 ACRES  
DALLAS COUNTY, TEXAS

SHEET NO.

DESIGN	DRAWN	DATE	SCALE	NOTES



**RICHARDSON**

**T E X A S**

# Agenda Item 7

Zoning File 19-34

Major Modification

(Photography Studio)

City of Richardson  
Development Services



**ZF 19-34**

Nottingham Dr

**SUBJECT PROPERTY**

James Dr

S Floyd Rd

James Dr





LOOKING NORTHWEST



DRIVEWAY TO BE REMOVED

LOOKING NORTHEAST



**SITE PLAN**  
SCALE: 1" = 10'-0"

0.4304 ACRES

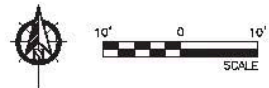
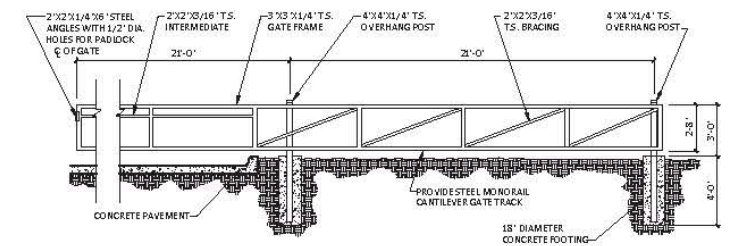


Exhibit "B"

## Major Modifications

- 8' Landscape buffers along Floyd & James
- Parking within build-to-zones
- Enhanced pavement area on Floyd Road
- New cantilevered gate on Floyd Road
- New roll-up doors on west facade
- Fencing to enclose area east of building
- Corten steel planters



NOTES:  
 1. THIS IS A MANUAL CANTILEVERED GATE, ONE SET OF OVERHANG POSTS AND FOOTINGS  
 2. VERIFY REQUIRED LENGTH OF GATE IN FIELD ONCE CONCRETE PAVEMENT IS PLACED  
 3. ALL COMPONENTS OF GATE SHALL BE GALVANIZED AND PRIMED, PAINT FINISH OF ENTIRE ASSEMBLY  
 4. PROVIDE KNOX BOX OR GATE, COORDINATE EXACT REQUIREMENTS WITH FIRE MARSHALL

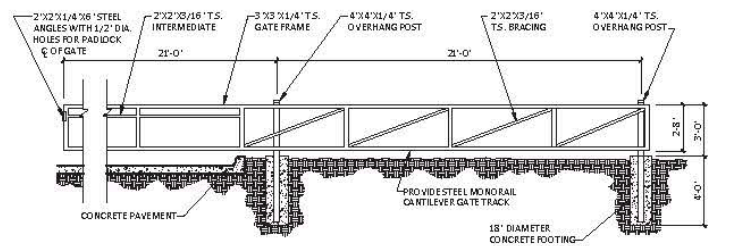
**CANTILEVERED GATE DETAIL**

SCALE: 1/4" = 1'-0"



## Other Proposed Changes

- Remove south driveway on Floyd Road
- Remove 18" pipe rail along Floyd & James
- Remove pavement west of building
- Reconstruct driveway on James Drive

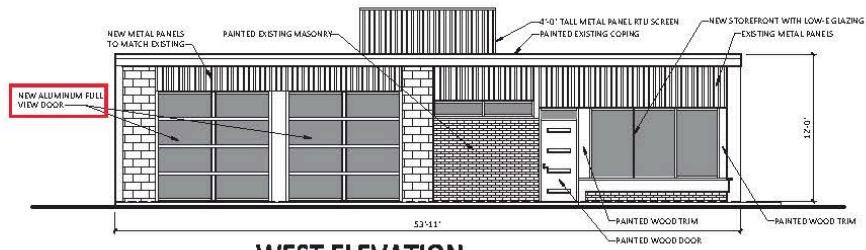


NOTES:  
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**CANTILEVERED GATE DETAIL**  
 SCALE: 1/4" = 1'-0"

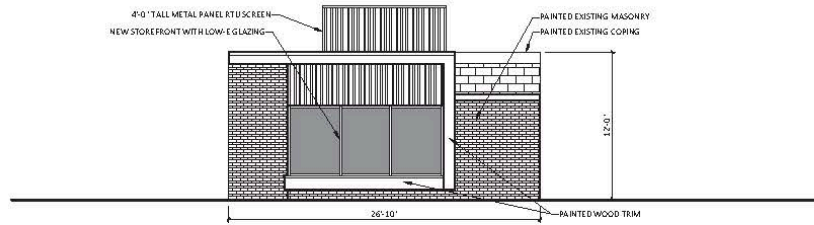
Exhibit "B"

**SITE PLAN**  
 SCALE: 1" = 10'-0"  
 0.4304 ACRES



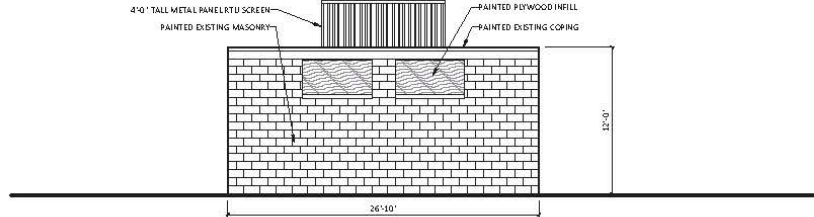
**WEST ELEVATION - (FRONT)**

SCALE: 3/16" = 1'-0"



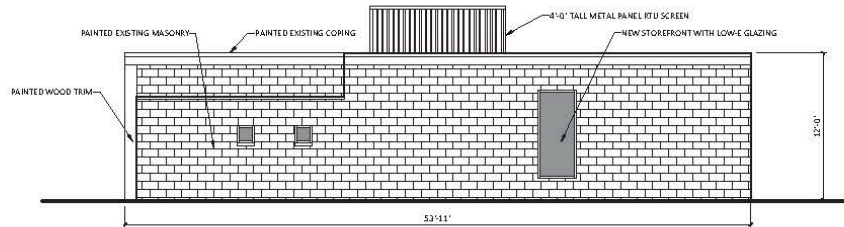
**SOUTH ELEVATION - (RIGHT)**

SCALE: 3/16" = 1'-0"



**NORTH ELEVATION - (LEFT)**

SCALE: 3/16" = 1'-0"



**EAST ELEVATION - (REAR)**

SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE	
MATERIAL	COLOR
PAINTED MASONRY	SASHAY SAND (PEACH)
METAL PANELS	METALSPAN INSULATED METAL PANELS, TERRACOTTA (CORAL)
PAINTED METAL COPING	SNOWBOUND (WHITE)
ALUMINUM STOREFRONT	BLACK OF NIGHT (BLACK)
PAINTED WOOD TRIM	SASHAY SAND (PEACH)
PAINTED WOOD DOOR	CORAL ISLAND (SALMON)



**LOCATION MAP**  
NOT TO SCALE



PROPOSED EXTERIOR FINISH CALCULATIONS			
WEST ELEVATION TOTAL FACADE		NORTH ELEVATION TOTAL FACADE	
360 SF	PAINTED MASONRY	277 SF	PAINTED MASONRY
186 SF	METAL PANELS AND COPING	27 SF	METAL PANELS AND COPING
34 SF	PAINTED WOOD TRIM	36 SF	PAINTED WOOD TRIM
TOTAL		TOTAL	
580 SF		340 SF	
SOUTH ELEVATION TOTAL FACADE		EAST ELEVATION TOTAL FACADE	
154 SF	PAINTED MASONRY	598 SF	PAINTED MASONRY
90 SF	METAL PANELS AND COPING	70 SF	METAL PANELS AND COPING
36 SF	PAINTED WOOD TRIM		
TOTAL		TOTAL	
280 SF		668 SF	

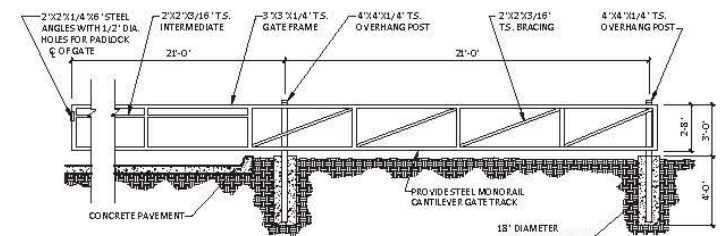




Exhibit "B"

## Major Modifications

- 8' Landscape buffers along Floyd & James
- Parking within build-to-zones
- Enhanced pavement area on Floyd Road
- New cantilevered gate on Floyd Road
- New roll-up doors on west facade
- Fencing to enclose area east of building
- Corten steel planters



- NOTES:
1. THIS IS A MANUAL CANTILEVERED GATE, ONE SET OF OVERHANG POSTS AND FOOTINGS
  2. VERIFY REQUIRED LENGTH OF GATE IN FIELD ONCE CONCRETE PAVEMENT IS PLACED
  3. ALL COMPONENTS OF GATE SHALL BE GALVANIZED AND PRIMED, PAINT FINISH OF ENTIRE ASSEMBLY
  4. PROVIDE KNOX BOX OR GATE, COORDINATE EXACT REQUIREMENTS WITH FIRE MARSHALL

## CANTILEVERED GATE DETAIL

SCALE: 1/4" = 3'-0"



RICHARDSON

TEXAS

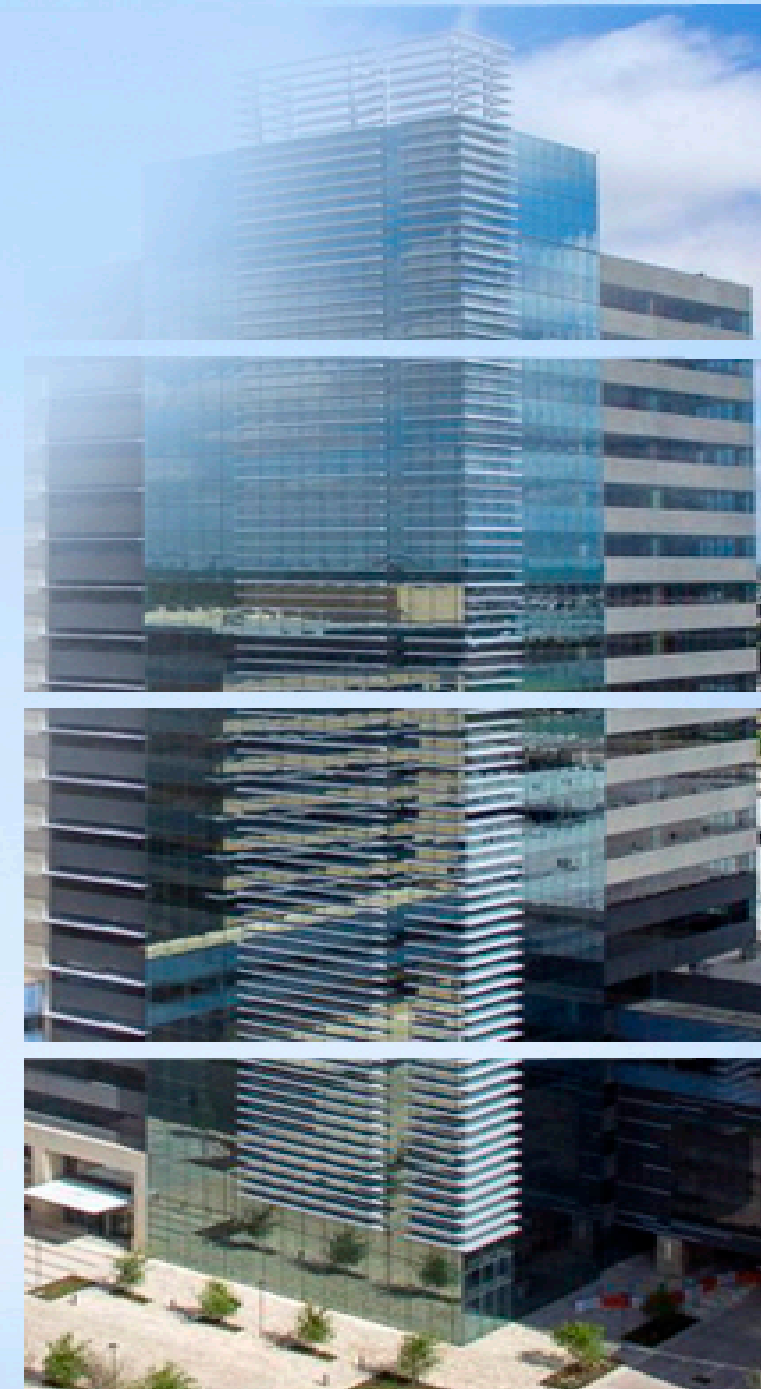
# Agenda Item 8

Zoning File 19-35

Special Permit

(Drive-thru Restaurant)

City of Richardson  
Development Services



**ZF 19-35**

Carleton Dr

North Park Dr

S Plano Rd

Mt Vernon Dr

Potomac Dr

S St Johns Dr

Baltimore Dr

**SUBJECT PROPERTY**

Richland Dr

Buckingham Rd

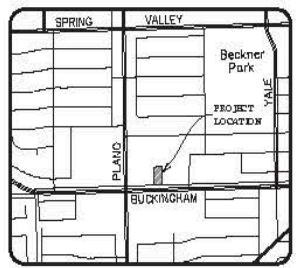
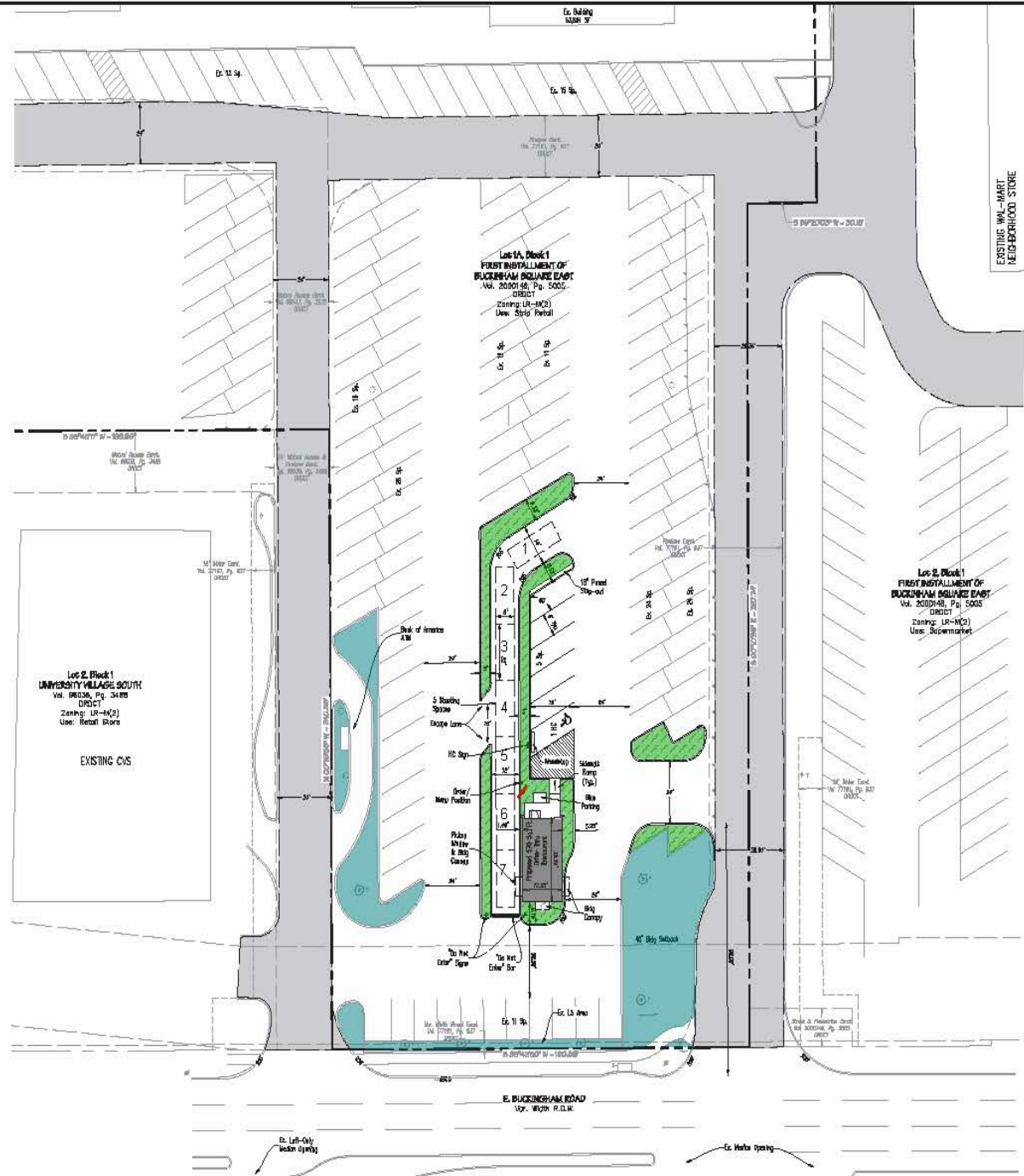




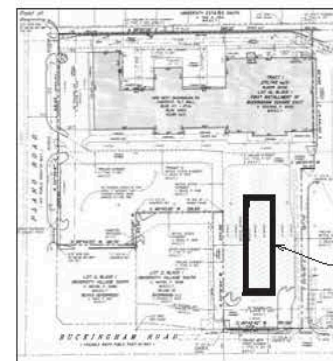
Looking North



Looking South – E Buckingham



KEY MAP



PROJECT LOCATION

LEGEND

- Prop. Curb & Gutter
- Ex. Striping
- Prop. Striping
- Ex. Fire Hydrant
- Ex. Light Pole
- Prop. Landscape Area
- Ex. Pavement
- Landscape Area

PROJECT SUMMARY

Existing Zoning	LR-11(2) (Local Retail)
Proposed Zoning	LR-11(2) w/ Special Permit (Restaurant w/ Drive-Thru)
Building Setback	40' (Front)
Total Lot Area	6,215 Area/270,725 Sq. Ft.
Existing Building Area	83,891 Sq. Ft.
Proposed Building Area	221,361 Sq. Ft.
Total Building Area	305,252 Sq. Ft.
Floor Area Ratio	0.22811 / Max. 0.21
Building Height	1-Story, 20'-0" Max. Ht.
Existing Landscape Area	7,300 Sq. Ft. (2.72%)
Proposed Landscape Area	8,608 Sq. Ft. (3.55%)
Overall Parking Required	284 Spaces
Overall Parking Provided	308 Spaces (Incl. 0 HC)

EXHIBIT "P"

ZONING EXHIBIT

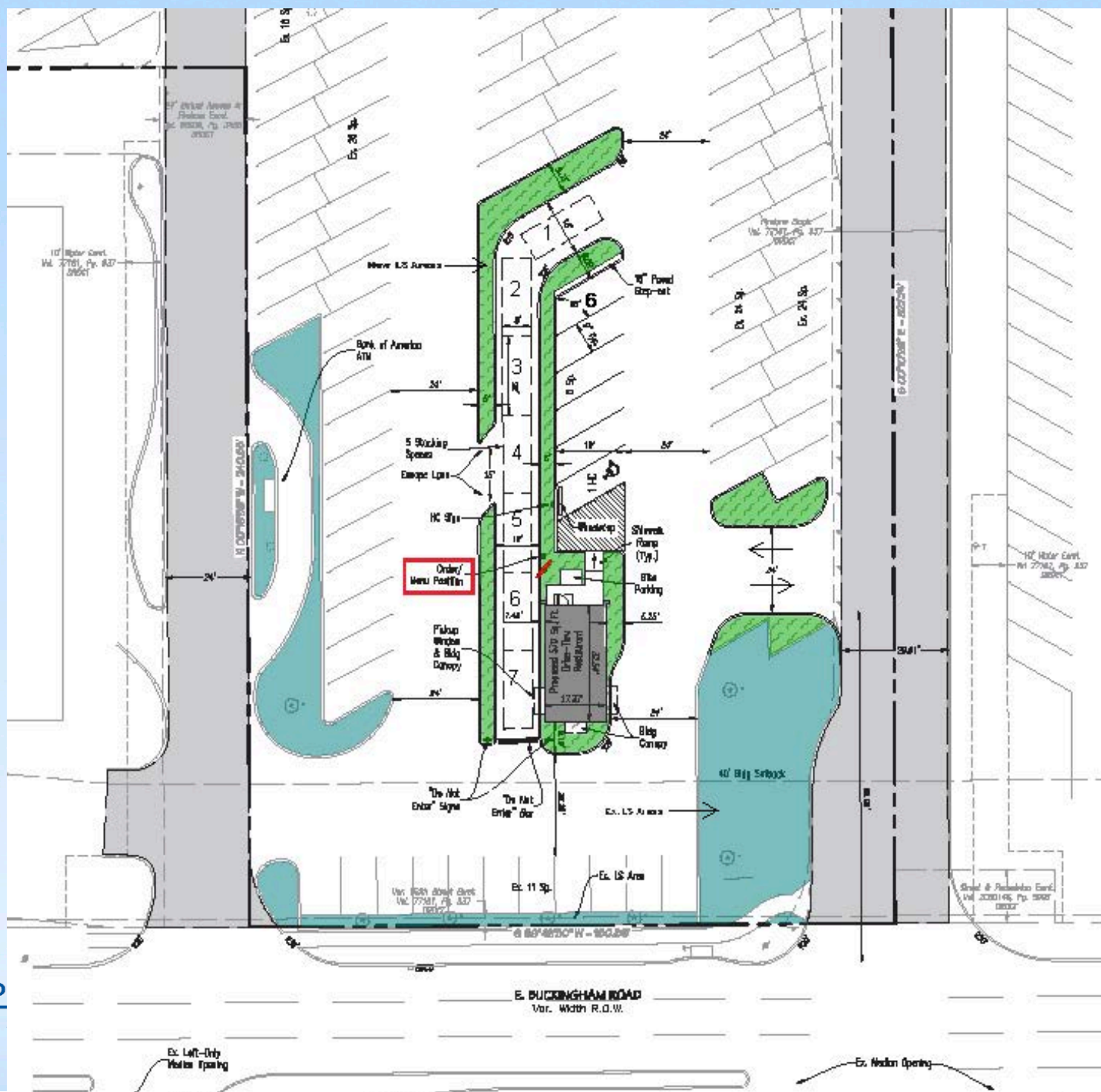
## SCOOTERS BUCKINGHAM SQUARE

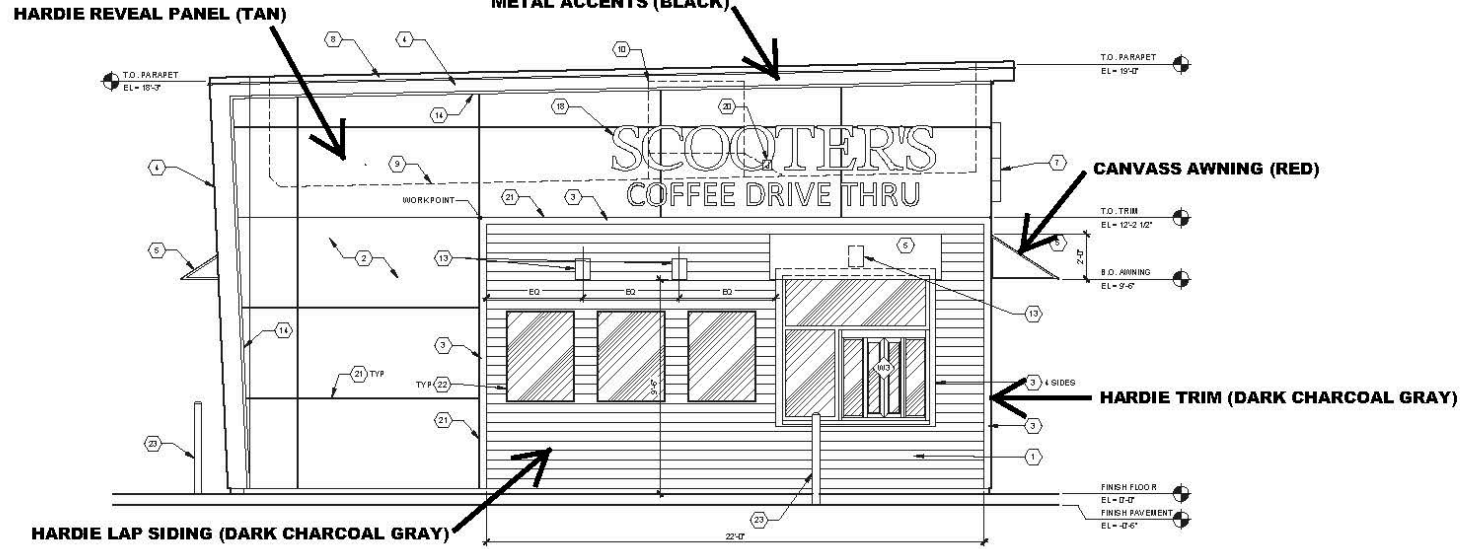
LOT 1A, BLOCK 1  
 BUCKINGHAM SQUARE EAST  
 W. FERREIS SURVEY, ABSTRACT No. 488  
 1465 BUCKINGHAM ROAD  
 IN THE CITY OF RICHARDSON, DALLAS COUNTY, TEXAS  
 6,215 Acres/270,725 Sq. Ft.

<b>OWNER</b> Scooters & Services, LLC 11301 North Lake Drive Cedar Park, TX 78613 Tel: 817-440-1111 Contact: Joe S. Baker	<b>ATTORNEY</b> S.W. & Associates, LLC 3801 Park Lane, #211 Dallas, TX 75221 Tel: 817-440-1111 Contact: Joe S. Baker	<b>ENGINEER / ARCHITECT</b> S.W. & Associates, Inc. 783 Cooper Road, Suite 100 Ft. Worth, TX 76103 Tel: 817-440-1111 Contact: David S. H. H.
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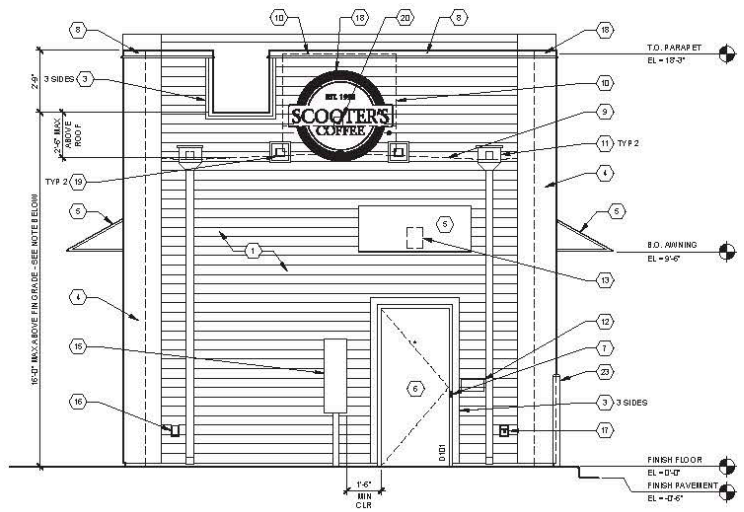
services





**J1 WEST EXTERIOR ELEVATION**  
SCALE: 3/8" = 1'-0"  
**HARDIE = 90%**  
**METAL PANEL = 7.5%**

- SHEET KEYNOTES**
1. HARDIE FLANK-LAP SIDING, SEE HARDIE DETAIL SHEET A6.5 - COLOR: DARK CHARCOAL GRAY, EGGSHELL FINISH
  2. HARDIE REVEAL PANEL SYSTEM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: COBBLESTONE (TAN)
  3. 3 1/2" HARDIE TRIM, SEE HARDIE DETAILS SHEET A6.5 - COLOR: DARK CHARCOAL GRAY, EGGSHELL FINISH
  4. METAL ACCENTS AND SO FRITS - COLOR: BLACK
  5. AWNING BY OTHERS - COLOR: RED
  6. INSULATED HOLOW METAL DOOR AND FRAME, SEE HARDIE DETAIL SHEET A6.5 - COLOR: DARK CHARCOAL GRAY, EGGSHELL FINISH
  7. DOOR BELL - COLOR: BLACK
  8. METAL PARAPET CAP - COLOR: BLACK
  9. LINE OF ROOF BEYOND
  10. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
  11. METAL THROUGH WALL SCUPPER, CO INDUCTOR HEAD & 4" W X 3" D DOWNSPOUT - COLOR: BLACK - SEE DETAIL G12WGD
  12. WALLBOX BY OWNER
  13. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
  14. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
  15. SES PANEL, SEE ELECTRICAL DRAWINGS, COLOR: DARK CHARCOAL GRAY
  16. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
  17. FREEZE-PROOF WALL HYDRANT, SEE PLUMBING DRAWINGS
  18. SO WAGE BY OTHERS, UNDER SEPARATE PERMIT
  19. METAL THROUGH WALL OVERFLOW SCUPPER - COLOR: BLACK, SEE DETAIL M12WGD
  20. CONTRACTOR SHALL PROVIDE POWER FOR EXTERIOR SIGNAGE WIREWAY ON PARAPET WALL INTERIOR
  21. HARDIE REVEAL PANEL JOINT
  22. DISPLAY CASE
  23. 4"Ø CONC-FILLED PIPE BOLLARD, SEE DETAIL M17-002 - PAINT COLOR: RED TO MATCH
- NOTE:**  
SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
SUBJECT TO BUILDING INSPECTION APPROVAL.



**A1 NORTH EXTERIOR ELEVATION**  
SCALE: 3/8" = 1'-0"  
**HARDIE = 77.4%**  
**METAL PANEL = 19.5%**

**NOTE:**  
2015 INTERNATIONAL MECHANICAL CODE  
SECTION 905.5 EQUIPMENT AND APPLIANCES ON ROOFS OR ELEVATED STRUCTURES:  
"WHERE EQUIPMENT REQUIRING ACCESS OR APPLIANCES ARE LOCATED ON AN ELEVATED STRUCTURE OR THE ROOF OF A BUILDING SUCH THAT PERSONNEL WILL HAVE TO CLIMB TO REACH THEM, AN EASY MEANS ABOVE GRADE TO ACCESS SUCH EQUIPMENT OR APPLIANCES, AN INTERIOR OR EXTERIOR MEANS OF ACCESS SHALL BE PROVIDED."

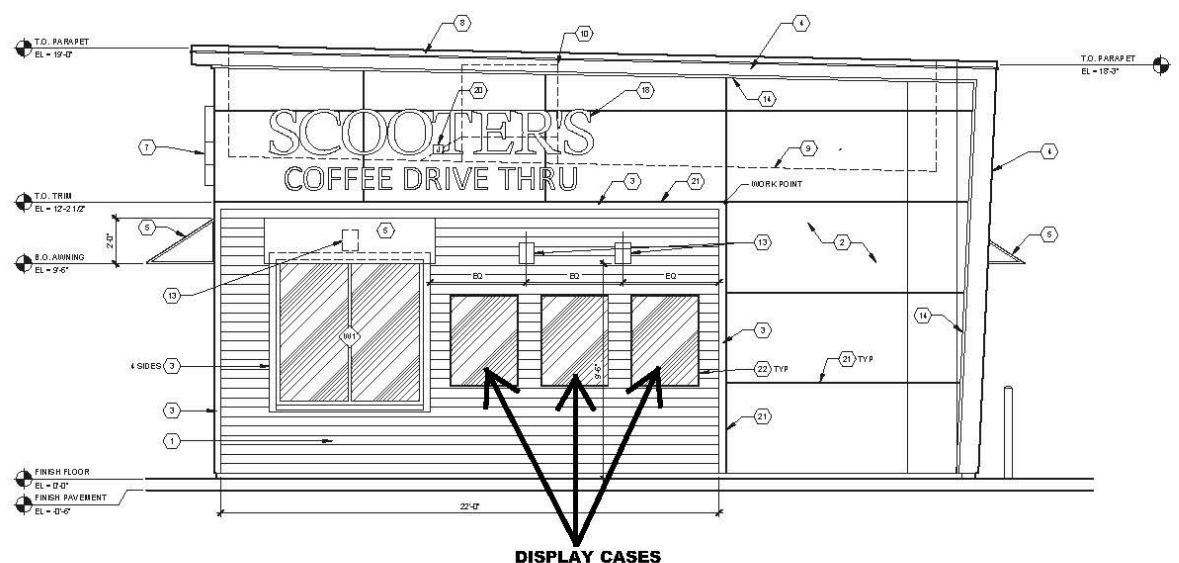
WEST FACADE				NORTH FACADE			
MATERIAL	AREA	PERCENTAGE		MATERIAL	AREA	PERCENTAGE	
G ROSS (MINUS DRG & WIDING)	599.58 SF	100%		G ROSS (MINUS DRG & WIDING)	321.98 SF	100%	
FIBER CEMENT LAP SIDING	219.31 SF	36.57%		FIBER CEMENT LAP SIDING	249.32 SF	77.43%	
FIBER CEMENT PANEL SIDING	320.34 SF	53.42%		P REFINISHED METAL PANEL	62.81 SF	19.50%	
P REFINISHED METAL PANEL	4.96 SF	0.83%		CANVAS AWNING	9.86 SF	3.07%	
CANVAS AWNING	15.17 SF	2.52%					

Exhibit "C-1"

- LEGEND**
- ◊ - DOOR NUMBER, SEE ASD
  - ◊ - WINDOW TYPE, SEE ASD
  - SECTION
  - 7 - SECTION NUMBER
  - 7 - SHEET SECTION SHOWN ON SIMILAR, ON OPPOSITE HAND



services



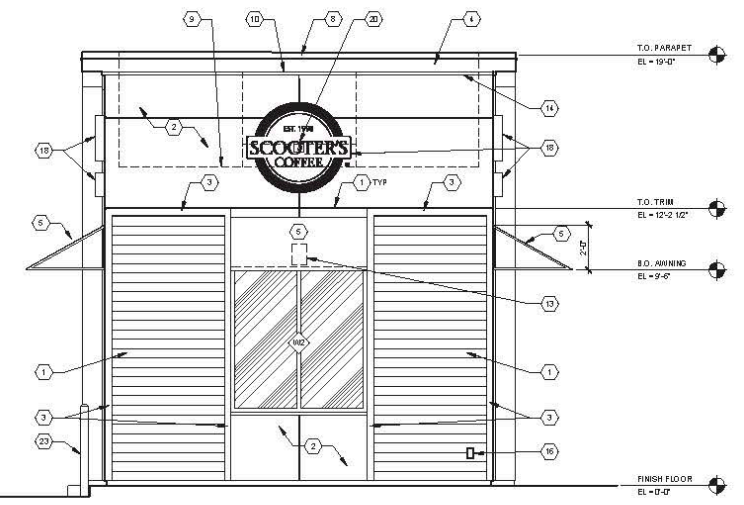
**J1 EAST EXTERIOR ELEVATION** HARDIE = 90%  
SCALE: 3/8" = 1'-0" METAL PANEL = 7.5%

- SHEET KEYNOTES**
- HARDIE PLANK/LAP SIDING, SEE HARDIE DETAIL SHEET A65 - COLOR: DARK CHARCOAL GRAY, EGGSHELL FINISH
  - HARDIE REVEAL PANEL SYSTEM, SEE HARDIE DETAIL SHEET A65 - COLOR: COBBLESTONE (7A-B)
  - 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A65 - COLOR: DARK CHARCOAL GRAY, EGGSHELL FINISH
  - METAL ACCENTS AND SOFFITS - COLOR: BLACK
  - AWNING BY OTHERS - COLOR: RED
  - INSULATED HOLLOW METAL DOOR AND FRAME, SEE HARDIE DETAIL SHEET A65 - COLOR: DARK CHARCOAL GRAY, EGGSHELL FINISH
  - DOOR BELL - COLOR: BLACK
  - METAL PARAPET CAP - COLOR: BLACK
  - LINE F ROOF BEYOND
  - ROOF TO P UNIT & ON, SEE MECHANICAL DRAWINGS
  - METAL THRUWALL SCUPPER, CONDUCTOR HEAD & 4" X 7" DOWNSPOUT - COLOR: BLACK, SEE DETAIL G106-D
  - MAIL BOX BY OWNER
  - WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
  - LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
  - SES PANEL, SEE ELECTRICAL DRAWINGS - COLOR: DARK CHARCOAL GRAY
  - ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
  - FREEZE-PROOF WALL HYDRANT, SEE PLUMBING DRAWINGS
  - SHOW E BY OTHERS, UNDER SEPARATE PERMIT
  - METAL THRUWALL OVERFLOW SCUPPER - COLOR: BLACK, SEE DETAIL M126-D
  - CONTRACTOR SHALL PROVIDE POWER FOR EXTERIOR SIGNAGE/IRMBWAY ON PARAPET WALL INTERIOR.
  - HARDIE REVEAL PANEL JOINT
  - DISPLAY CASE
  - 4"Ø CONC-FILLED PIPE BOLLARD, SEE DETAIL M17AD.2 - COLOR: RED TOMATO

NOTE:  
SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
SUBJECT TO BUILDING INSPECTION APPROVAL

**EXTERIOR FINISH MATERIALS CALCULATION TABLE**

EAST FACADE			SOUTH FACADE		
MATERIAL	AREA	PERCENTAGE	MATERIAL	AREA	PERCENTAGE
GROSS (MINUS DRG & WINDOWS)	6953 SF	100%	GROSS (MINUS DRG & WINDOWS)	29151 SF	100%
FIBER CEMENT LAF SIDING	21931 SF	36.51%	FIBER CEMENT LAF SIDING	13670 SF	46.93%
FIBER CEMENT PANEL SIDING	32034 SF	53.42%	FIBER CEMENT PANEL SIDING	12637 SF	43.35%
PREFINISHED METAL PANEL	4436 SF	7.49%	PREFINISHED METAL PANEL	1654 SF	5.67%
CANVAS AWNING	15.11 SF	2.52%	CANVAS AWNING	14.00 SF	4.81%



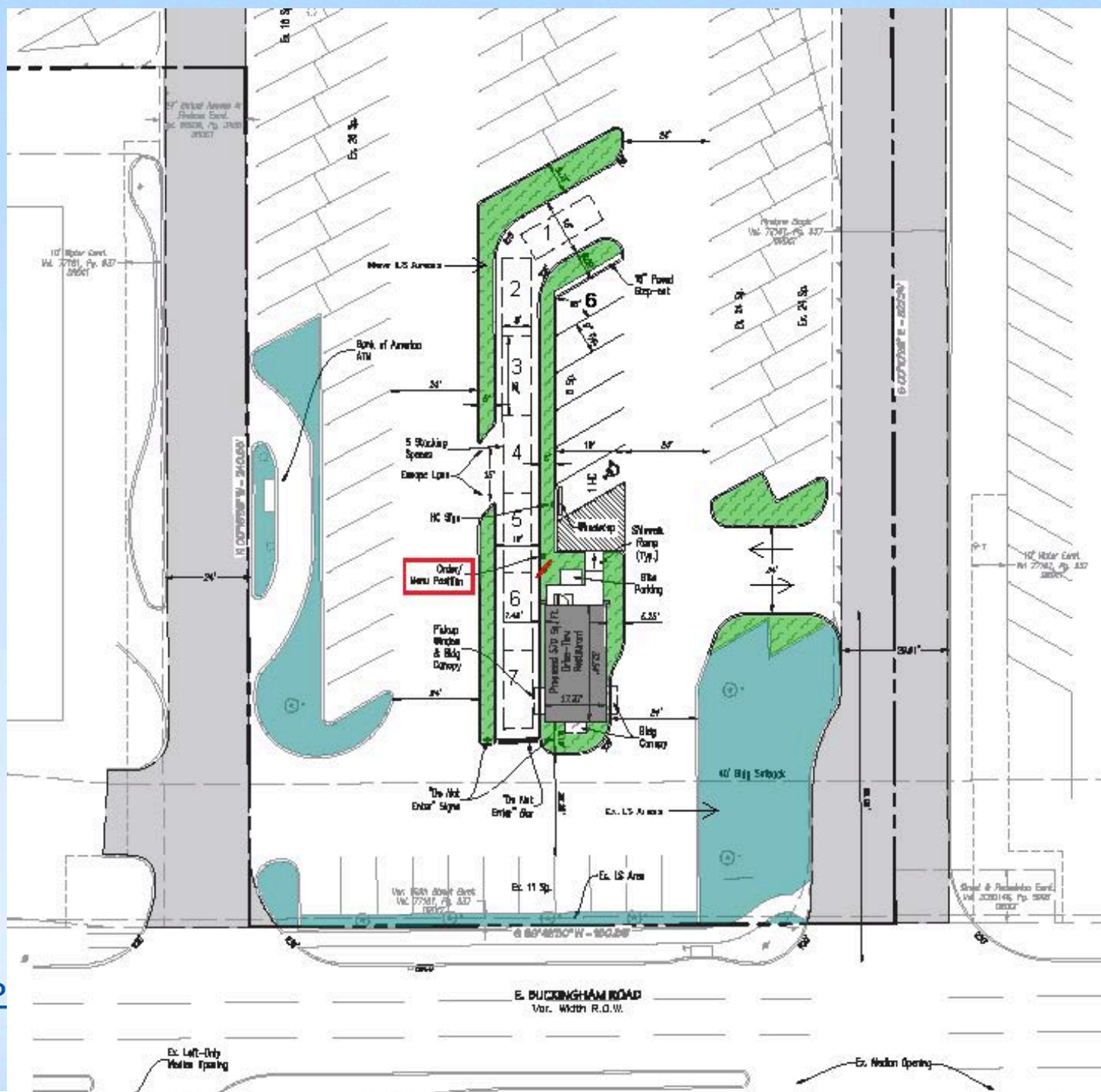
**A1 SOUTH EXTERIOR ELEVATION** HARDIE = 89.5%  
SCALE: 3/8" = 1'-0" METAL PANEL = 5.7%

- LEGEND**
- DOOR NUMBER, SEE A5-D
  - WINDOW TYPE, SEE A5-D
  - SECTION
  - SECTION NUMBER
  - SHEET SECTION SHOWN ON SIDE - SIMILAR, OR - OPPOSITE WARD



services







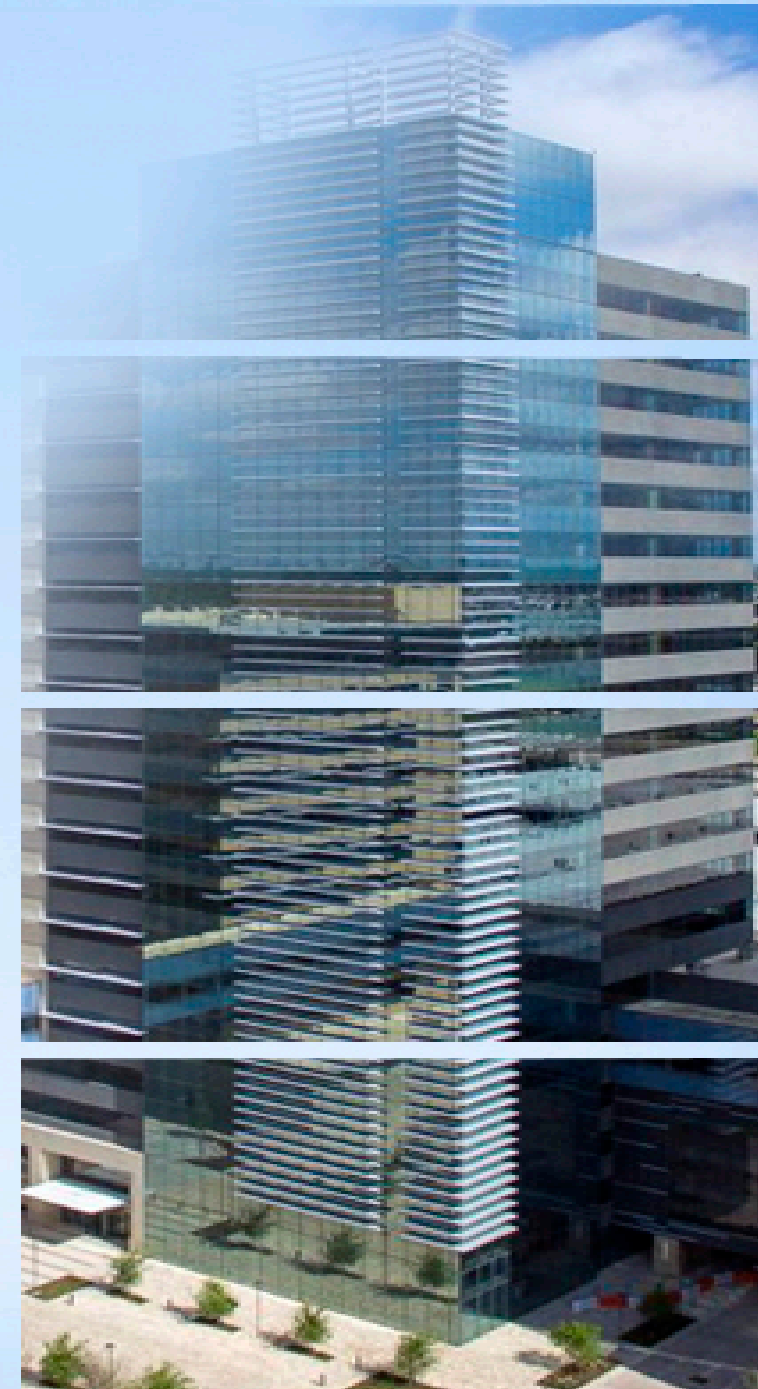
**RICHARDSON**  
**TEXAS**

# Agenda Item 9

Zoning File 20-01

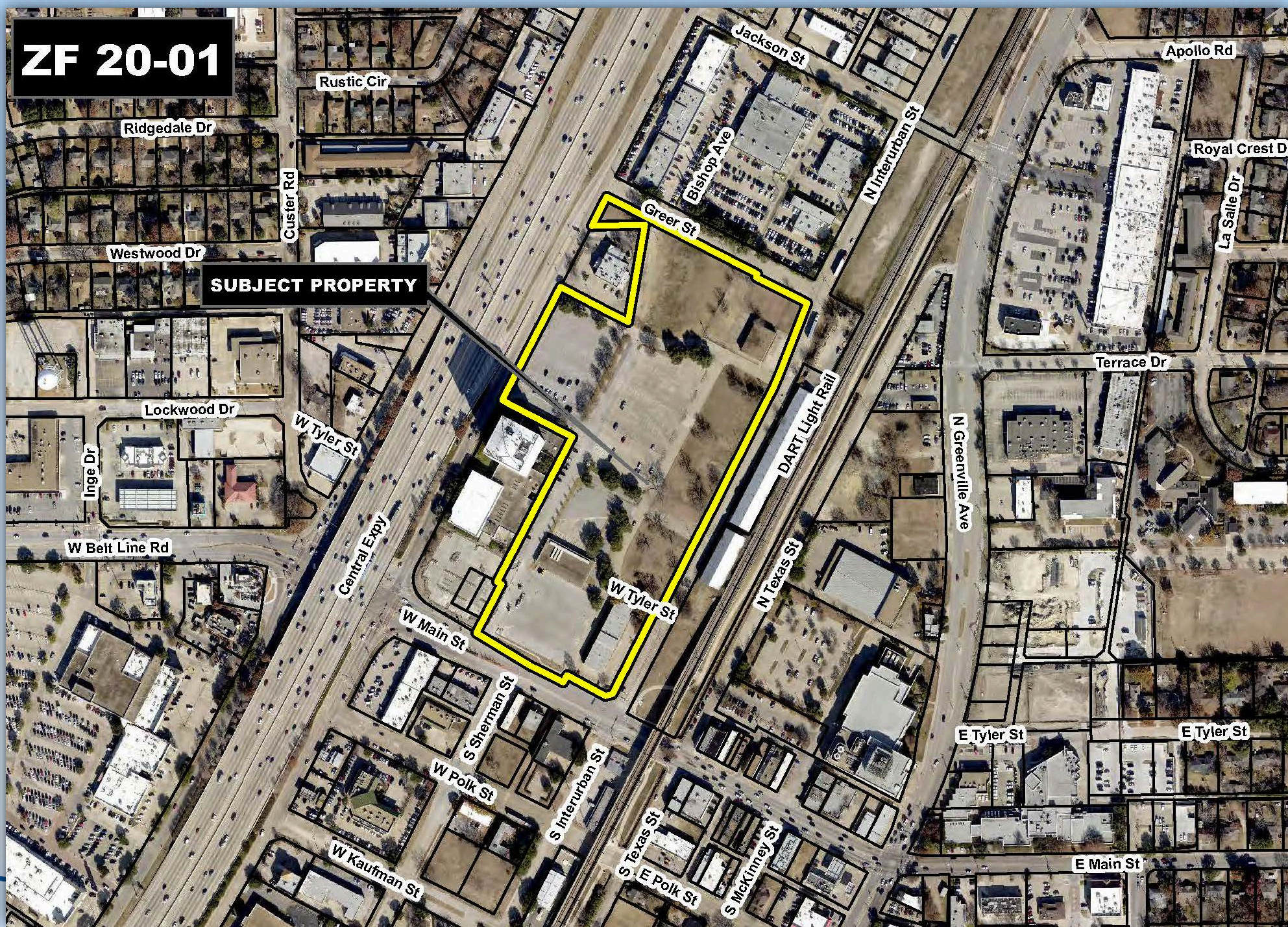
Special Development Plan  
(Max. Building Heights)

City of Richardson  
Development Services

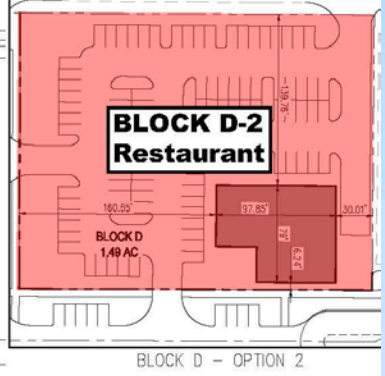
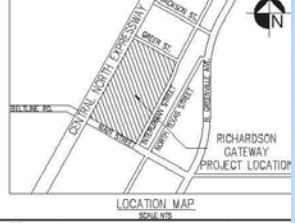
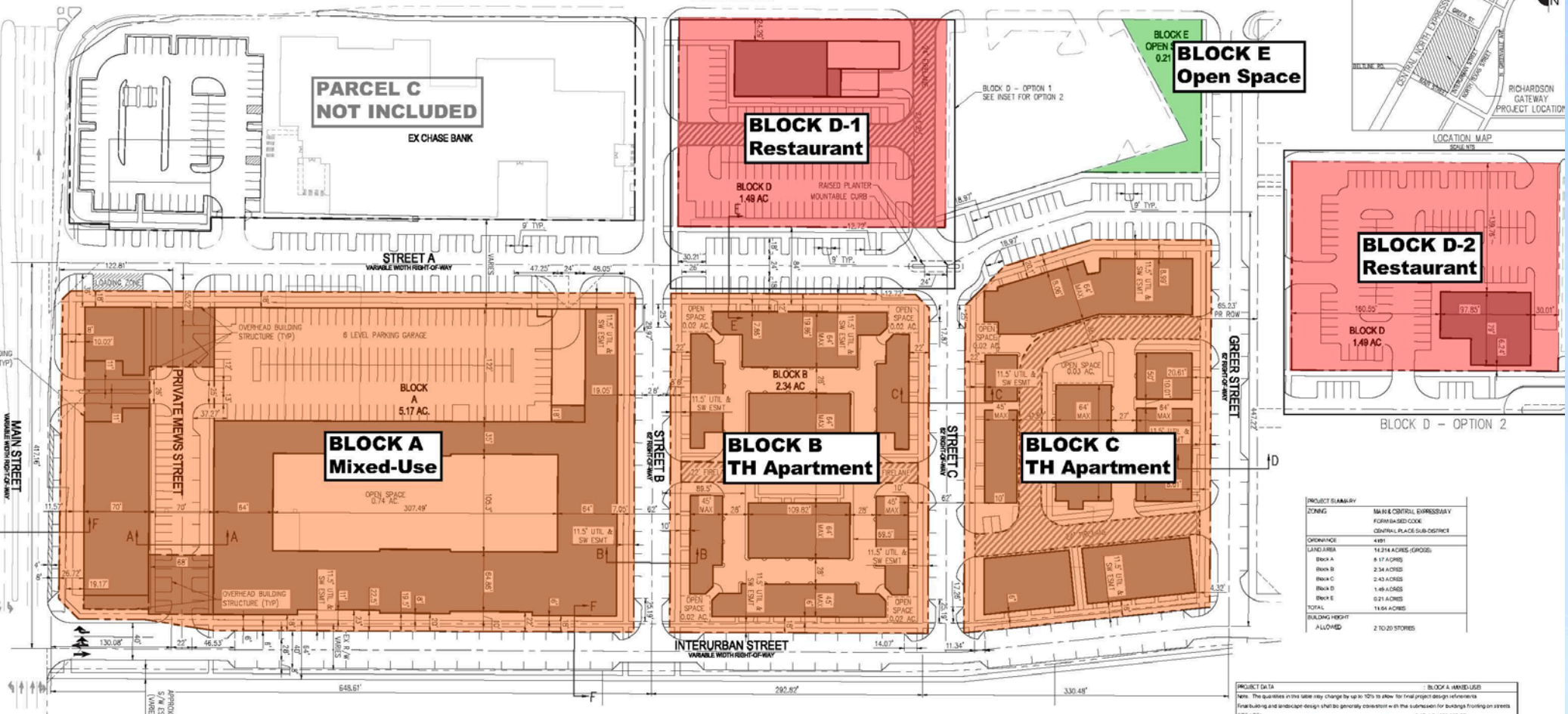


ZF 20-01

SUBJECT PROPERTY



US 75 NBF  
VARIABLE WIDTH RIGHT-OF-WAY



**PROJECT SUMMARY**

ZONING	MAIN CENTRAL EXPRESSWAY FORM-BASED CODE
ORDINANCE	CENTRAL PLACE SUB-DISTRICT 4981
LAND AREA	14.214 ACRES (GROSS)
Block A	5.17 ACRES
Block B	2.34 ACRES
Block C	2.34 ACRES
Block D	1.48 ACRES
Block E	0.21 ACRES
TOTAL	14.64 ACRES
BUILDING HEIGHT	ALLOWED: 2 TO 20 STORES

**PROJECT DATA**

PROJECT DATA	BLOCK D (RESTAURANT) - OPTION 2
NOTE:	The quantities in this table may change by up to 10% to allow for final project design refinements.
Final building and landscape design shall be generally consistent with the submission for buildings fronting on streets.	
SITE AREA	1.48 ACRES / 64,961 SF
BUILDING AREA	6,780 SF
PARKING REQUIRED	22 SPACES (11,900 SF)
PARKING PROVIDED	154 SPACES
<b>SPECIAL DEVELOPMENT PLAN STANDARDS</b>	
BUILD TO-ZONE	REQUIRED: PROVIDED
CENTRAL EXPRESSWAY (CENTRAL)	0-10' 50-145'
STREET B (URBAN MIXED USE)	0-10' 0-300'
<b>BUILDING FOOTPRINTAGE</b>	
CENTRAL EXPRESSWAY (CENTRAL)	MINIMUM REQUIRED: PROPOSED
STREET A (URBAN MIXED USE)	50%: 33%
STREET B (URBAN MIXED USE)	70%: 32%
STREET C (URBAN MIXED USE)	70%: 20%

**PROJECT DATA**

PROJECT DATA	BLOCK D (RESTAURANT)
NOTE:	The quantities in this table may change by up to 10% to allow for final project design refinements.
Final building and landscape design shall be generally consistent with the submission for buildings fronting on streets.	
SITE AREA	1.48 ACRES / 64,961 SF
BUILDING AREA	6,450 SF
PARKING REQUIRED	22 SPACES (11,900 SF)
PARKING PROVIDED	108 SPACES
<b>SPECIAL DEVELOPMENT PLAN STANDARDS</b>	
BUILD TO-ZONE	REQUIRED: PROVIDED
STREET A (URBAN MIXED USE)	0-10' 0-145'
STREET B (URBAN MIXED USE)	0-10' 0-50'
<b>BUILDING FOOTPRINTAGE</b>	
CENTRAL EXPRESSWAY (CENTRAL)	MINIMUM REQUIRED: PROVIDED
STREET A (URBAN MIXED USE)	50%: 34%
STREET B (URBAN MIXED USE)	70%: 29%
STREET C (URBAN MIXED USE)	70%: 28%
<b>OPEN SPACE</b>	
NON-PUBLICLY ACCESSIBLE	REQUIRED: PROVIDED
PUBLICLY ACCESSIBLE	15% (9,744 SF): 0 SF
<b>ARCHITECTURAL STANDARDS</b>	
MINIMUM FINISH GRADE (RESIDENTIAL)	18' 0' 0'
BUILDING WALLS	COMMITMENTAL SONGS (STREET FACING FACADE): 0% 20%
COMMITMENTAL SONGS (NON-STREET FACING FACADE)	0% 70%
PARKING	92 SPACES (1.6 SPA CES/BEEDROOM (90 SPACES): 30 SPACES (1.6 SPA CES/BEEDROOM (90 SPACES): 2 SURFACE PARKING

**PROJECT DATA**

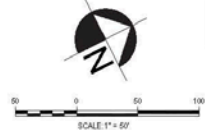
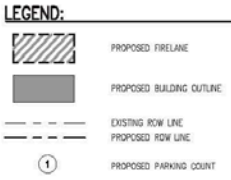
PROJECT DATA	BLOCK B (TOWNHOME APARTMENTS)
NOTE:	The quantities in this table may change by up to 10% to allow for final project design refinements.
Final building and landscape design shall be generally consistent with the submission for buildings fronting on streets.	
SITE AREA	2.34 ACRES / 105,637 SF
BUILDING AREA	45 UNITS 90,000 SF
<b>SPECIAL DEVELOPMENT PLAN STANDARDS</b>	
DENSITY	REQUIRED: PROVIDED
# UNITS	40 UNITS / ACRE: 214 UNITS / ACRE
<b>BUILD TO-ZONE</b>	
INTERURBAN (URBAN MIXED USE)	0-10' 0-10'
GREER STREET (URBAN MIXED USE)	0-10' 0-21'
STREET A (URBAN MIXED USE)	0-10' 0-21'
STREET B (URBAN MIXED USE)	0-10' 0-21'
INTERURBAN STREET (URBAN MIXED USE)	0-10' 0-19'
<b>OPEN SPACE</b>	
NON-PUBLICLY ACCESSIBLE	REQUIRED: PROVIDED
PUBLICLY ACCESSIBLE	15% (13,724 SF): 7.8% (6,810 SF)
<b>ARCHITECTURAL STANDARDS</b>	
MINIMUM FINISH GRADE (RESIDENTIAL)	18' 0' 0'
BUILDING WALLS	COMMITMENTAL SONGS (STREET FACING FACADE): 0% 30%
COMMITMENTAL SONGS (NON-STREET FACING FACADE)	0% 30%
PARKING	92 SPACES (1.6 SPA CES/BEEDROOM (90 SPACES): 30 SPACES (1.6 SPA CES/BEEDROOM (90 SPACES): 2 SURFACE PARKING

**PROJECT DATA**

PROJECT DATA	BLOCK C (TOWNHOME APARTMENTS)
NOTE:	The quantities in this table may change by up to 10% to allow for final project design refinements.
Final building and landscape design shall be generally consistent with the submission for buildings fronting on streets.	
SITE AREA	2.34 ACRES / 101,978 SF
BUILDING AREA	45 UNITS 90,000 SF
<b>SPECIAL DEVELOPMENT PLAN STANDARDS</b>	
DENSITY	REQUIRED: PROVIDED
# UNITS	40 UNITS / ACRE: 193 UNITS / ACRE
<b>BUILD TO-ZONE</b>	
INTERURBAN (URBAN MIXED USE)	0-10' 0-21'
STREET B (URBAN MIXED USE)	0-10' 0-21'
STREET C (URBAN MIXED USE)	0-10' 0-21'
INTERURBAN STREET (URBAN MIXED USE)	0-10' 0-19'
<b>OPEN SPACE</b>	
NON-PUBLICLY ACCESSIBLE	REQUIRED: PROVIDED
PUBLICLY ACCESSIBLE	15% (13,724 SF): 7.8% (6,810 SF)
<b>ARCHITECTURAL STANDARDS</b>	
MINIMUM FINISH GRADE (RESIDENTIAL)	18' 0' 0'
BUILDING WALLS	COMMITMENTAL SONGS (STREET FACING FACADE): 0% 30%
COMMITMENTAL SONGS (NON-STREET FACING FACADE)	0% 30%
PARKING	92 SPACES (1.6 SPA CES/BEEDROOM (90 SPACES): 30 SPACES (1.6 SPA CES/BEEDROOM (90 SPACES): 2 SURFACE PARKING

**PROJECT DATA**

PROJECT DATA	BLOCK A (MIXED-USE)
NOTE:	The quantities in this table may change by up to 10% to allow for final project design refinements.
Final building and landscape design shall be generally consistent with the submission for buildings fronting on streets.	
SITE AREA	5.17 AC / 225,088 SF
BUILDING AREA (TOTAL)	302,672 SF
APARTMENTS	281,683 SF
RESTAURANT	14,282 SF
RESIDENT CLUB AND STORAGE	6,687 SF
<b>PARKING REQUIRED:</b>	
510 (1.6 SPA CES/UNIT)	
48 (1.6 SPA CES/RESIDENTIAL @ 1,000 SF)	
566 (OFFSET NON-RESIDENTIAL)	
1,143 TOTAL REQUIRED	
<b>TOTAL UNITS</b>	
REQUIRED:	140 TOTAL UNITS
PROVIDED:	45 UNITS / ACRE: 47 UNITS / ACRE
<b>SPECIAL DEVELOPMENT PLAN STANDARDS</b>	
<b>BUILD TO-ZONE</b>	
INTERURBAN (URBAN MIXED USE)	MINIMUM ALLOWED: (PROPOSED)
STREET A (URBAN MIXED USE)	330' 300'
BUILD TO-ZONE	330' 300'
STREET A (URBAN MIXED USE)	0-10' 0-19'
STREET B (URBAN MIXED USE)	0-10' 0-20'
INTERURBAN STREET (URBAN MIXED USE)	0-10' 0-21'
ARCHITECTURAL STANDARDS	0-10' 0-28'
<b>MINIMUM FINISH GRADE (RESIDENTIAL)</b>	
18' 0' 0'	
<b>BUILDING WALLS</b>	
COMMITMENTAL SONGS (STREET FACING FACADE)	0% 20%
COMMITMENTAL SONGS (NON-STREET FACING FACADE)	0% 20%
<b>PARKING PROVIDED:</b>	
143 PUBLIC GARAGE	
607 PRIVATE GARAGE	
810 TOTAL GARAGE	
33 ON-SITE SURFACE	
287 STREET-FACING STREETS	
1,110 TOTAL SPACES PROVIDED	



TOWN CENTRAL  
SPECIAL DEVELOPMENT PLAN  
EXHIBIT 'B'

2018 APPROVED  
SPECIAL DEVELOPMENT PLAN

HARRIS KOCHER SMITH  
 101 Summit Avenue, Suite 1014  
 Fort Worth, Texas 76102  
 P: 817.769.8279 F: 817.769.8298  
 HarrisKocherSmith.com  
 TYPE Form F-1001 - TRC-S Final 10/19/14

vices

AERIAL VIEW



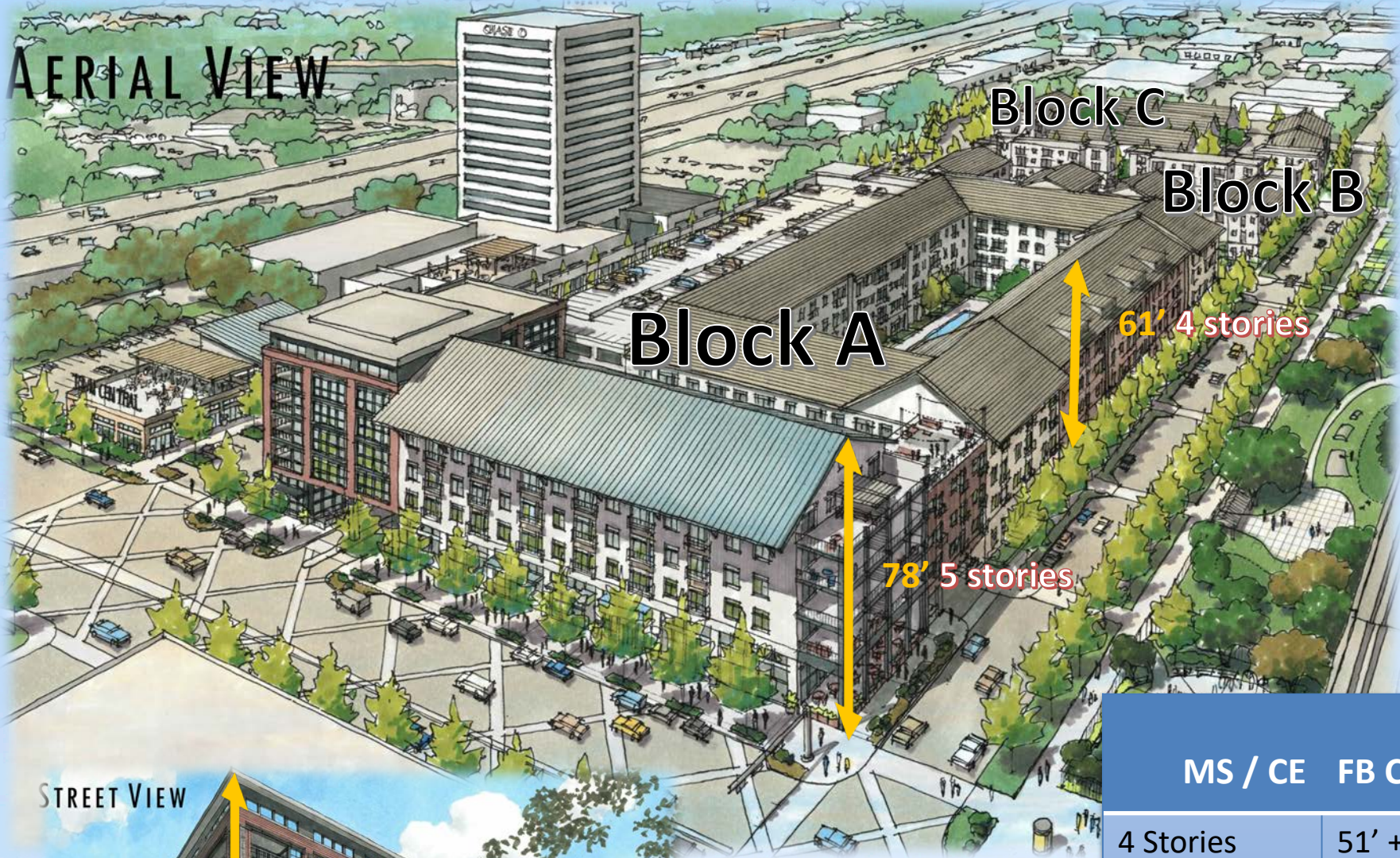
Block C

Block B

Block A

STREET VIEW





MS / CE	FB Code	Actual Design	Proposed Block A
4 Stories	$51' + 6' = 57'$	61'	<b>87' *</b>
5 Stories	$63' + 6' = 69'$	78'	<b>87' *</b>
6 Stories	$75' + 6' = 81'$	N/A	<b>87' *</b>

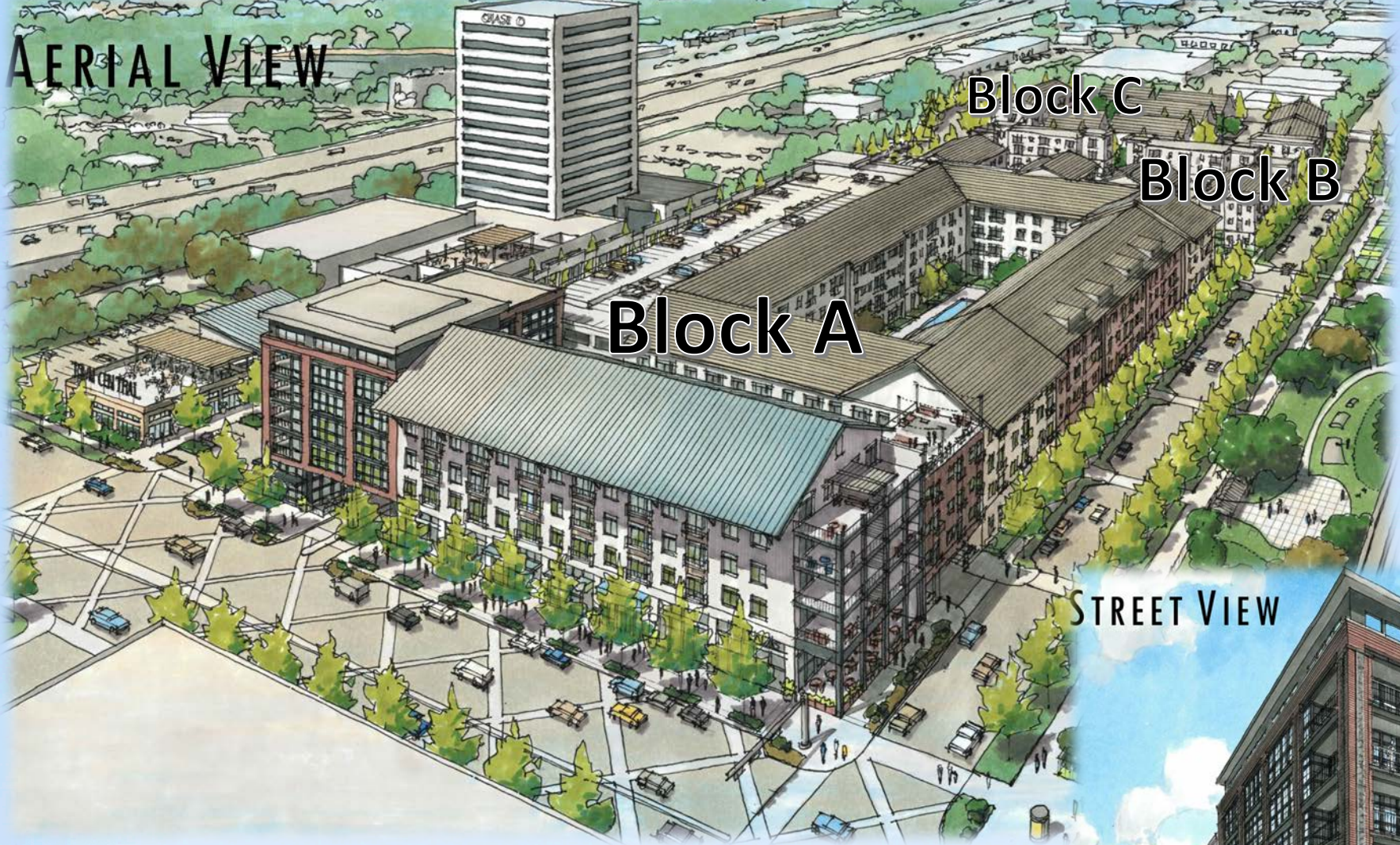
# AERIAL VIEW

Block A

Block B  
Block C

MS / CE	FB Code	Actual TBD	Proposed Blocks B & C
3 Stories	39' + 6 = 45'	*	51'
		*CityLine 47'	

AERIAL VIEW



Block A

Block C

Block B

STREET VIEW

