

**RICHARDSON CITY COUNCIL
MONDAY, JULY 15, 2024
COUNCIL MEETING AT 6:00 PM
RICHARDSON CITY HALL, 2360 CAMPBELL CREEK BLVD., SUITE 525, RICHARDSON, TX 75082**

Closed Executive Session Authorized

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session to seek confidential legal advice from the City Attorney on any listed agenda item.

Videoconference Call Authorized

Pursuant to Texas Government Code Section 551.127, one or more members of the City Council may participate in this meeting by videoconference call. A quorum of the City Council and the presiding officer will be present at the physical location of the meeting.

Meeting Information

- City Council Rules of Order and Procedure: <https://www.cor.net/RulesofOrderandProcedure>
- Public Comment Cards for comments on agenda items, the visitors forum, or public hearings can be found at www.cor.net/PublicCommentForm and submitted online by 5 p.m. on the date of the meeting or in person before the meeting begins to be included in the public record.
- City Council meetings are available for viewing via live-stream online and on-demand at www.cor.net/city.

COUNCIL MEETING – 6:00 PM, MULTIPURPOSE ROOM #CH 157

• **CALL TO ORDER**

1. **INVOCATION – JOE CORCORAN**

2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – JOE CORCORAN**

3. **MINUTES OF THE JULY 8, 2024 MEETING**

4. **PUBLIC COMMENTS ON AGENDA ITEMS AND VISITORS FORUM**

Speakers must complete a public comment card and submit it to the City Secretary before the meeting begins. Speakers will have a maximum of 5 minutes to speak. The time allocated for all public comments is 30 minutes.

• **PUBLIC COMMENTS ON AGENDA ITEMS**

The public comment portion of the City Council meeting is scheduled at the beginning of the meeting to allow the public to address the City Council regarding an item listed on the agenda that is not a public hearing.

• **VISITORS FORUM**

The visitors forum portion of the meeting is set aside for members of the public to address the City Council on any topic in which the subject matter is within the jurisdiction of the City.

5. **REVIEW AND DISCUSS NATIONAL PARKS AND RECREATION MONTH**

6. **REVIEW AND DISCUSS STATUS OF REGIONAL TRANSIT STUDIES**

7. **REVIEW AND DISCUSS THE PUBLIC ART SELECTION FOR THE LIBRARY**

8. **REVIEW AND DISCUSS THE FY 2024-2025 PARK MAINTENANCE STRATEGIES**

9. **REVIEW AND DISCUSS THE FY 2024-2025 FACILITIES SERVICES MAINTENANCE STRATEGIES**

PUBLIC HEARING ITEM:

10. CONTINUATION OF PUBLIC HEARING, ZONING FILE 24-08, A REQUEST TO AMEND THE PD PLANNED DEVELOPMENT FOR A 13.03-ACRE DEVELOPMENT LOCATED BETWEEN WATERVIEW PARKWAY AND PRESIDENT GEORGE BUSH HIGHWAY, EAST OF FRANKFORD ROAD, TO ALLOW STUDENT-PURPOSE BUILT APARTMENTS ON THE EAST SIDE OF THE PROPERTY IN LIEU OF APARTMENTS AND AMENDMENTS TO THE DEVELOPMENT STANDARDS.

11. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

- A. CONSIDER AWARD OF BID #96-24 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO BUSINESS FLOORING SPECIALISTS FOR THE COOPERATIVE PURCHASE OF MUNICIPAL COURT OFFICE CARPET REPLACEMENT THROUGH THE LOCAL GOVERNMENT PURCHASING COOPERATIVE ("BUYBOARD") CONTRACT #736-24 IN THE AMOUNT OF \$50,673.10.
- B. CONSIDER AWARD OF COMPETITIVE SEALED PROPOSAL ("CSP") #904-24 – WE RECOMMEND THE AWARD TO MCMAHON CONTRACTING, L.P. FOR HUNT BRANCH DRAINAGE AND UTILITY IMPROVEMENTS IN THE AMOUNT OF \$4,142,021.19.

12. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

- **VISITORS FORUM CONTINUED (if needed)**

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- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE RICHARDSON CITY HALL ON FRIDAY, JULY 12, 2024, BY 5:00 P.M.

AIMEE NEMER, CITY SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING THE ADA COORDINATOR, VIA PHONE AT (972) 744-4168, VIA EMAIL AT ADACOORDINATOR@COR.GOV, OR BY APPOINTMENT AT 2360 CAMPBELL CREEK BLVD., SUITE 550, RICHARDSON, TEXAS 75082.

PURSUANT TO SECTION 46.03, PENAL CODE (PLACES WEAPONS PROHIBITED), A PERSON MAY NOT CARRY A FIREARM OR OTHER WEAPON ON THIS PROPERTY. *

FOR THE PURPOSE OF THIS NOTICE "PROPERTY" SHALL MEAN THE COUNCIL CHAMBERS OR ANY OTHER ROOM WHERE A MEETING SUBJECT TO AN OPEN MEETING UNDER GOVERNMENT CODE CHAPTER 551 OF THE RICHARDSON CITY COUNCIL IS HELD.

**This does not apply to licensed carriers.*

MINUTES
RICHARDSON CITY COUNCIL MEETING
JULY 8, 2024

- **Call to Order**

Mayor Dubey called the meeting to order at 6:00 p.m. with the following Council members present:

Bob Dubey	Mayor
Arefin Shamsul	Mayor Pro Tem
Curtis Dorian	Councilmember
Jennifer Justice	Councilmember
Dan Barrios	Councilmember
Joe Corcoran	Councilmember
Ken Hutchenrider	Councilmember

The following staff members were also present:

Don Magner	City Manager
Kent Pfeil	Chief Financial Officer
Charles Goff	Assistant City Manager
Michaela Dollar	Assistant City Manager
Dannette Garcia	Assistant City Manager
Aimee Nemer	City Secretary
Lindsay Turman	Community Services Administrator
Nick Kohel	Assistant Director of Engineering/Capital Projects
Sam Chavez	Director of Development Services

Consultants present:

Kim Newcomer, Slate Communications

COUNCIL MEETING – 6:00 PM, MULTIPURPOSE ROOM #CH 157

1. INVOCATION – DAN BARRIOS

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – DAN BARRIOS

3. MINUTES OF THE JUNE 17, 2024 MEETING

Council Action

Councilmember Hutchenrider moved to approve the Minutes as presented. Mayor Pro Tem Shamsul seconded the motion. A vote was taken and passed, 7-0.

4. PUBLIC COMMENTS ON AGENDA ITEMS AND VISITORS FORUM

Sam Shadha, 604 Melrose Drive, addressed Council regarding the payment of his water bill.

Drew Adams, 101 Brookwood, Drive, submitted a public comment card regarding the lights at Cottonwood Park.

5. REVIEW AND DISCUSS THE MAY 28TH STORM DAMAGE RECOVERY EFFORTS AND DEBRIS REMOVAL SCHEDULE

City Manager Don Magner provided an update on the storm recovery and debris removal from the May 28 storm.

6. REVIEW AND DISCUSS AN AWARENESS CAMPAIGN FOCUSED ON ENHANCING THE CURB APPEAL OF RESIDENTIAL PROPERTIES

Lindsay Turman, Community Services Administrator, outlined the scope of code enforcement services and explained what can and cannot be regulated by the City. She introduced consultant Kim Newcomer, who explained the Home Sweet Home campaign that will be a tool to fill in the gap between what code enforcement can and cannot do. Ms. Turman explained the Neighborhood Ambassador Program that will help implement the program and reviewed the timeline for the program.

7. REVIEW AND DISCUSS THE FY 2024-2025 STREETS AND ALLEYS MAINTENANCE STRATEGIES

Nick Kohel, Assistant Director of Engineering, reviewed the FY 2024-2025 annual maintenance program and capital improvement plan update for streets, alleys, and sidewalks as well as an update on notable projects.

PUBLIC HEARING ITEMS:

8. PUBLIC HEARING, ZONING FILE 24-11, A REQUEST TO AMEND THE DEVELOPMENT REGULATIONS OF THE 62.5-ACRE CITYLINE-EAST PD PLANNED DEVELOPMENT DISTRICT LOCATED ON THE EAST SIDE OF N. PLANO ROAD, BETWEEN E. CITYLINE DRIVE AND THE PRESIDENT GEORGE BUSH TOLLWAY TO INCREASE THE NUMBER OF RESIDENTIAL UNITS, AND TO MODIFY THE REGULATING PLAN TO INCREASE THE ACREAGE OF MANDATORY AND MANDATORY/NON-MANDATORY OPEN SPACE.

Public Hearing

After a briefing from staff and the applicant, Mayor Dubey opened the Public Hearing.

The following public comments were submitted.

Richard Strecker, 2809 Foxcreek Drive - opposed

Scott Dunn, 1003 N. Waterview – in favor

Paul Voelker, 3308 Calloway Ct. - neutral

With no further comments, Councilmember Hutchenrider moved to close the Public Hearing, seconded by Councilmember Corcoran and approved unanimously.

Council Action

Councilmember Hutchenrider moved to approve the request as presented. Councilmember Barrios seconded the motion. A vote was taken and passed, 7-0.

9. PUBLIC HEARING, ZONING FILE 24-12, A REQUEST FOR APPROVAL OF A SPECIAL PERMIT FOR A 2,758 SQUARE FOOT SPECIAL EVENT CENTER

LOCATED WITHIN A 10,630 SQUARE FOOT RETAIL BUILDING OF A 43,714 SQUARE FOOT SHOPPING CENTER LOCATED NORTHEAST OF THE NORTHEAST CORNER OF E. CAMPBELL ROAD AND N. PLANO ROAD. THE 4.4-ACRE SITE IS ZONED LR-M(2) LOCAL RETAIL.

Public Hearing

After a briefing from staff and the applicant, Mayor Dubey opened the Public Hearing. With no public comments submitted, Councilmember Hutchenrider moved to close the Public Hearing, seconded by Councilmember Corcoran and approved unanimously.

Council Action

Councilmember Hutchenrider moved to approve the request as presented. Councilmember Dorian seconded the motion. A vote was taken and passed, 7-0.

10. CONSENT AGENDA:

A. CONSIDER ADOPTION OF ORDINANCE NO. 4501, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FROM PD PLANNED DEVELOPMENT FOR THE I-M(1) INDUSTRIAL DISTRICT TO PD PLANNED DEVELOPMENT; ADOPTING USE AND DEVELOPMENT REGULATIONS, INCLUDING A CONCEPT PLAN AND BUILDING ELEVATIONS FOR A 2.22-ACRE TRACT OF LAND LOCATED AT THE SOUTHWEST CORNER OF WATERWOOD DRIVE AND N. GLENVILLE DRIVE, RICHARDSON, TEXAS.

B. CONSIDER AWARD OF THE FOLLOWING BIDS:

- 1. BID #20-24 – WE RECOMMEND THE AWARD TO AXIS CONTRACTING, INC. FOR FY24 STORMWATER REPAIRS PROJECT IN THE AMOUNT OF \$1,071,931**
- 2. BID #48-24 – WE RECOMMEND THE AWARD TO KIK UNDERGROUND, LLC FOR CANYON BROOK, CANYON VALLEY, & FOREST GROVE PAVEMENT & UTILITY IMPROVEMENTS IN THE AMOUNT OF \$3,649,318.85.**
- 3. BID #59-24 – WE RECOMMEND THE AWARD TO RATLIFF HARDSCAPE, LTD. FOR THE CONSTRUCTION OF 2021 BOND ALLEY GROUP 8 (SOUTH GROVE RD, WEATHERED DR, PARK PLACE, CENTENNIAL BLVD, CARRINGTON DR ALLEYS) IN THE AMOUNT OF \$1,973,140.**
- 4. BID #68-24 – WE RECOMMEND THE AWARD TO DDM CONSTRUCTION CORPORATION FOR RECONSTRUCTION OF NEWBERRY DRIVE FROM FLOYD ROAD TO LINDALE LANE AND ROYAL CREST DRIVE FROM GROVE ROAD TO CUL-DE-SAC IN THE AMOUNT OF \$2,502,360.**

5. **BID #92-24 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE ANNUAL REQUIREMENTS CONTRACT TO DH PACE FOR FACILITIES DOOR SERVICE AND REPAIR THROUGH CITY OF FRISCO BID #2303-055 PURSUANT TO UNIT PRICES.**
6. **BID #94-24 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO SIGMA SURVEILLANCE, INC. FOR THE COOPERATIVE PURCHASE OF EISEMANN CENTER SECURITY CAMERA REPLACEMENT AND UPGRADE THROUGH TEXAS DEPARTMENT OF INFORMATION RESOURCES ("DIR") CONTRACT #S DIR-CPO- 4697 AND DIR-CPO-4770 IN THE AMOUNT OF \$185,149.01.**
7. **BID #95-24 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO TYR TACTICAL, INC. FOR THE COOPERATIVE PURCHASE OF TACTICAL VESTS FOR THE POLICE DEPARTMENT THROUGH TEXAS SMARTBUY CONTRACT #680-M1 IN THE AMOUNT OF \$97,876.44.**

Council Action

Councilmember Hutchenrider moved to approve the Consent Agenda as presented. Councilmember Corcoran seconded the motion. A vote was taken and passed, 7-0.

11. REPORT ON ITEMS OF COMMUNITY INTEREST

Council reported on items of community interest.

EXECUTIVE SESSION

In compliance with Section 551.087 (1) and (2) of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Economic Development Negotiations
 - Commercial Development – Renner Rd./U.S. 75, Renner Rd./President George Bush Turnpike and Lakeside Blvd./Galatyn Pkwy., E. Lookout Dr./N. Glenville Dr. Areas

Council Action

Council convened into Executive Session at 9:50 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into regular session at 10:46 p.m. and took the following action.

Mayor Pro Tem Shamsul moved to authorize the City Manager to negotiate and execute an economic development agreement on behalf of the City with Project Ascent including any amendments or instruments related thereto. Councilmember Dorian seconded the motion. A vote was taken and passed, 7-0.

ADJOURNMENT

With no further business, the meeting was adjourned at 10:47 p.m.

MAYOR

ATTEST:

CITY SECRETARY

Item

Review and discuss National Parks and Recreation Month

Staff

Yvonne Falgout, Parks and Recreation Director

Summary

Staff will provide an overview of the Parks and Recreation Department, the national parks and recreation month as well as activities offered throughout the month for the public and staff.

City Council Strategies

Our well-trained, engaged, and innovative employees deliver an exceptional customer service experience while working in a safe, inclusive, and equitable environment.

Background

National Parks and Recreation Month has been celebrated since 1985 during the month of July. This celebrates the vital role park and recreation professionals play in bringing people together, providing essential services, and fostering the growth of our communities.

Proposed Action

NA

Attachments

NA

Item

Review and Discuss Status of Regional Transit Studies

Staff

Charles Goff, Assistant City Manager

Summary

City staff will provide an update regarding on-going regional transit studies related to public transit services, cost allocation and funding.

City Council Strategies

- Leverage our regional leadership position to positively impact county, state, and federal issues

Background

Staff will provide the City Council an overview of the Transit 2.0 study that has been initiated by the North Central Texas Council of Governments through the Regional Transportation Council. Additionally, staff will discuss the recent adoption of the DART strategic plan and status of the DART allocation study that is currently in process.

Financial Considerations

N/A

Item

Review and Discuss the Public Art Selection for the Library

Staff

Michaela Dollar, Assistant City Manager

Summary

Meridith McKinley with Via Partnerships will provide an update on the status of the selection processes for the Library renovation exterior and interior public art projects, as well as recommended concepts for each project. She will also review the selection process for the upcoming City Hall public art project.

City Council Strategies

- Continue to explore unique opportunities to attract and retain residents and all stakeholders

Background

Meridith McKinley with Via Partnerships will provide an update on the Library interior and exterior public art selection projects, previously presented to council on September 18, 2023. These projects are funded from the 2021 Bond Programs as part of the public facility construction budgets. The project has a selection committee comprised of stakeholders for the Library. The call for entries yielded 101 for the exterior art project and 102 for the interior art project. The selection committee scored the entries and selected three finalists for each project to develop concepts. The committee received presentations from the finalists, and each selected a final recommendation for council. The Cultural Arts Commission has also reviewed and supports the recommendations.

In addition to the review of the Library public art recommendations, the consultant will also provide a project overview of the upcoming City Hall art project, including the selection process.

Financial Considerations

Funded from the 2021 Bond Program

Item

Review and Discuss the FY 2024-2025 Park Maintenance Strategies

Staff

Shohn Rodgers, Assistant Director of Parks and Recreation

Summary

Staff will brief the City Council on the Parks Maintenance Division and Parks Maintenance Fund Strategies

City Council Goal

To have residents and stakeholders choose Richardson as the best place to locate, contribute, and engage

Background

The Parks Maintenance Division conducts a Capital Asset Assessment each year, and the results contribute to the programming of the Parks Maintenance Fund (PMF) budget. This presentation will discuss the results of the 2024 Asset Assessment, update the Council on the FY24 PMF projects, and look ahead to projects planned for the FY25 PMF.

Proposed Action

N/A

Attachments

N/A

Item

Review and Discuss the FY 2024-2025 Facilities Services Maintenance Strategies

Staff

Wayne Corum, Director of Facilities and Fleet

Summary

City staff will provide an overview of the proposed FY2024-2025 Facilities and Custodial Services maintenance strategies.

City Council Strategies

Value, protect, and create a positive return on city, resident, and other stakeholder investments in the City.

Background

City Staff will provide the City Council an overview of the City's facilities and custodial services current maintenance and capital strategies and discuss proposed strategies and budget for FY2024-2025.

Financial Considerations

Expenditures for the FY2024-2025 facilities and custodial services maintenance and capital strategies will be included in the proposed FY2024-2025 Operating Budget and Facilities Maintenance Fund.



DATE: July 15, 2024
TO: Honorable Mayor and City Council
FROM: Sam Chavez, AICP, Director of Development Services *SDC*
SUBJECT: Zoning File 24-08: PD Planned Development Amendment – ATRE Waterview Student Apartments

REQUEST

This item was continued at the June 17, 2024, City Council meeting to the July 15, 2024, City Council meeting to allow Altaterra (ATRE), the developer to be in attendance.

Maxwell Fisher, ZoneDev, representing George Bush Highway Investment LLC & Affordable Space Rental 2018, LLC, is requesting approval of amendments to the 13.03-acre PD Planned Development District located between Waterview Parkway and President George Bush Highway, east of Frankford Road related to the apartment building type on the eastern side of the site and associated development standards.

The subject amendments only apply to the building type in Sub Area 2 of Exhibit “B”; now designated as Phase 1 on the proposed concept plan Exhibit “B-1”, and the phasing requirements for the subject site.

The applicant’s request replaces the market-rate mixed-use apartment building (eastern most building, Exhibit “B”) with a mixed-use purpose-built student apartment building (Phase 1, Exhibit “B-1”). As a result, the number of units are reduced by 162 units, the number of beds are increased by 84 beds, a parking ratio of 0.8 spaces per bedroom is proposed, shuttle service will now be provided, the number of live/work units remain as previously approved at five (5) units and the amount of retail/co-working area is reduced by 5,476 square feet (see Page 5 of the attached staff report for a detailed description of the modifications).

Along with the proposed modifications above, the proposed modified phasing plan would restrict issuance of a Certificate of Occupancy for Phase 1 (the mixed-use purpose-built student apartment building, Exhibit “B-1”) until all required infrastructure for the balance of the phases are constructed and accepted by the City, including the sidewalks walks to and along Waterview Parkway, and restricts issuance of a Certificate of Occupancy for Phase 2 (the purpose-built student apartment building) until building permits have been issued and the buildings are weather tight for R-3 and R-4 (the retail buildings) or Phase 2B (the hotel).

The current phasing plan applicable to the current Concept Plan (Exhibit “B”) restricts issuance of a Certificate of Occupancy for Sub Area 1 (the purpose-built student apartment building) until building permits for Sub Area 2 (the market-rate mixed-use apartment building) and Buildings R-3 and R-4 (the retail buildings) have been issued, vertical construction of the parking garage has commenced, 100% of the first-floor framing of the mixed-use apartment building has been completed and all required infrastructure for the balance of the phases have been constructed and accepted by the City, including the sidewalks walks to and along Waterview Parkway.

The original Traffic Impact Analysis (TIA) was updated to compare the trips generated by the 340-unit market-rate mixed-use apartment building to the proposed 173-unit mixed-use purpose-built student apartment building with 534 bedrooms. A lower peak hour traffic generation by the proposed project was

found to occur which can be attributed to the application of a 15% reduction to the traffic generated by the proposed mixed-use purpose-built student apartments which was not applicable to the market-rate mixed-use apartment building.

The only “intersection” which still operates at a failing Level of Service (LOS) “F” is the future intersection of Waterview Parkway and the future extension of Rutford Avenue/Driveway 2 (see attached Aerial Map for Driveway 2 location). *Therefore, the developer/owner has agreed to contribute up to 25% of the cost of the construction of the traffic signal. The property south of the subject site (ZF 23-06, UTD/Points at Waterview) was also required to contribute up to 25% of the cost of a traffic signal for the same intersection.*

In addition, a pedestrian crosswalk will be required to allow pedestrians to safely cross the intersection at Driveway 2 to the south side of Waterview Parkway. A Rectangular Rapid Flashing Beacon (RRFB) will be installed by the developer, including the construction of a sidewalk along the south side of Waterview eastward to the proposed DART driveway leading to the DART station.

To date, one (1) letter in support of the request has been received and five (5) individuals spoke in support of the request at the May 21st City Plan Commission public hearing.

BACKGROUND

The subject 13.03-acre undeveloped site was rezoned in 2022 from TO-M Technical Office to Planned Development (PD) to allow development of:

- One (1) five (5)-story, 171-unit purpose-built student apartment building with 529 beds with a total of 451 parking spaces (409 parking garage and 42 surface spaces), including courtyards, a playground area, dog park area, swimming pool, fitness center and secured bicycle storage within the parking garage,
- One (1) 5-story, market-rate 340-unit mixed-use apartment building with a minimum of five (5) live/work units and 8,000 square feet of ground floor retail with a total of 695 parking spaces (475 parking garage and 220 surface spaces, including courtyards, a swimming pool, fitness center and bicycle racks within the parking garage,
- Two (2), single-story retail buildings (R-3 and R-4) totaling 10,100 square feet, and
- One (1), 4-story, 110-room limited-service hotel, including a fitness center, business center and bike racks.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a 6-1 vote, recommends approval of the request subject to the attached conditions which include Conditions 2 and 3 which were not considered by the Commission as they were discussed with the applicant after the May 21, 2024, City Plan Commission meeting.

ATTACHMENTS

Special Conditions
CC Public Hearing Notice
City Plan Commission Minutes 2024-05-21
Staff Report
Zoning/Aerial Map
Current Approved Concept Plan (Exhibit “B”)
Proposed Concept Plan (Exhibit “B-1”)

Proposed PD Standards (Exhibit “C”)
Proposed Building Elevations (Exhibits “D-1” thru “D-4”)
Proposed Phasing Plan
Site Photos
CPC Notice of Public Hearing
Notification List
Correspondence

Special Conditions: ZF 24-08: PD Planned Development Amendment – ATRE Waterview Student Apartments

1. The subject Property shall be zoned PD Planned Development District and developed in accordance with the Concept Plan (Exhibit “B-1”), the attached development regulations (Exhibit “C”), and the Building Elevations (Exhibits “D-1 thru “D-4”).

Conditions 2 and 3 below were not considered by the Commission as they were discussed with the applicant after the May 21, 2024, City Plan Commission meeting.

2. The developer/owner shall contribute up to 25% of the cost of the construction of a traffic signal at the future intersection of Waterview Parkway and Driveway 2 as depicted on the concept plan.
3. The developer/owner shall install a Rectangular Rapid Flashing Beacon (RRFB) at the intersection at Waterview Parkway and Driveway 2 as shown on the concept plan and a sidewalk shall be installed along the southside of Waterview Parkway eastward to the proposed DART driveway leading to the DART station.

Order Confirmation / Invoice

Customer:	CITY OF RICHARDSON	Customer Account:	100010162
Ad Order #:	0001871264	PO Number:	CPN 9394
Sales Rep:	David Ferster	Order Taker:	David Ferster

Net Amount:	\$275.26	Tax Amount:	\$0.00	Total Amount:	\$275.26
Payment Method:	Check/Money Order	Payment Amount:	\$0.00	Amount Due:	\$275.26

Ad Order #: 0001871264

Ad Number: 0001871264-01

Color: **Ad Size:** 3 X 25.00 Li

Ad Content

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 6:00 p.m. on Monday, June 17, 2024, at Richardson City Hall, 2360 Campbell Creek Blvd, Ste. 525 Richardson, TX., to consider the following requests.
ZF 24-08

A request to amend the PD Planned Development for a 13.03-acre development located between Waterview Parkway and President George Bush Highway, east of Frankford Road, to allow student-purpose built apartments on the east side of the property in lieu of apartments and amendments to the development standards. Owner: Mehrdad Mazaheri, George Bush Highway Investment LLC & Affordable Space Rental 2018, LLC.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

APPROVED
By Aimee Nemer at 12:35 pm, May 29, 2024

Run Dates		Product	Placement/Classification - Position		
Publish Date:	05/31/2024	Stop Date:	05/31/2024	Dallas Morning News	Legals Bids Notices - LN Legal Notices
Publish Date:	05/31/2024	Stop Date:	06/06/2024	DallasNews.com	Legals Bids Notices - LN Legal Notices

**APPROVED
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – MAY 21, 2024**

ZF 24-08 ATRE Waterview Student Apartments: Consider and act on a request to amend the PD Planned Development for a 13.03-acre development located between Waterview Parkway and President George Bush Highway, east of Frankford Road, to allow student-purpose built apartments on the east side of the property in lieu of apartments and amendments to the development standards. Owner: Mehrdad Mazaheri. *Staff: Sam Chavez.*

Sam Chavez began by stating this is a request to amend an existing Planned Development District with its own set of development standards located between Waterview Parkway and President George Bush Turnpike east of Frankford Road and that the request is to amend the existing PD to allow purpose-built student apartments on the eastside of the property in lieu of market rate apartments, and amendments to the development standard.

Mr. Chavez provided current information on the approved concept plan for this site where the maximum number of units allowed is 335 with the number of beds being 450, required parking spaces is 450 at a rate of 1 space per bedroom, however they are providing 475 spaces. There are 5 live work units and 13,500-square feet of retail/co-working area. The proposed changes are related to Phase 1 to remove market rate apartments. Instead, the applicant proposes purpose-built student apartments of 173 allowed units, 534 beds, and 428 required parking spaces at the rate of 0.8 space per bedroom, and provide now 503 parking spaces, shuttle service, 5 live work units and 8,024-square feet of retail/co-working area.

Mr. Chavez brought attention to the table detailing what was previously approved and what is proposed. He described the updated phasing plan shows and phasing requirements, which require infrastructure and sidewalks for Phase 2 to be complete before a Certificate of Occupancy could be issued for Phase 1, and before Certificate of Occupancy can be issued for Phase 2, the retail and hotel developments should be constructed to the point of being weather tight, at minimum. He also explained that the proposed elevations for the student-built apartments are similar in materials and design, but the only difference is seen on the north elevation where the 5 live-work units will face President George Bush Freeway.

Chairman Marsh asked if the Commission had any questions and seeing none the applicant could come forward.

Maxwell Fisher, ZoneDev, 2502 Grandview Drive, Richardson, Texas stated the project has the same development team as the previous request and Dr. Mazaheri would retain ownership of the property, and they also have a national student housing developer involved.

Mr. Fisher advised that the previous request had a mix of housing, however they realized how much of a demand there was for student housing and that is the reason for this request. The proposed change is on the eastern phase. He explained that when building Phase 1 they could stub out the main utilities for Phase 2, and provide the necessary roads and sidewalks, to prime the property for final build out. A temporary sidewalk will be built so that students can get to

Waterview Parkway until the hotel develops. Rutford Road is going to be extended which brings the site even closer to UTD. Mr. Fisher stated that this request is expected to have less trips generated than the previous request and there will be shuttles serving all the apartments.

Michael Augustine, Alta Terra Real Estate, 1441 W. Ute Blvd, Park City, Utah addressed the Commission with renderings from other student housing at various universities and explained the different type of amenities they offer and the quality of their apartments.

Commissioner Purdy asked if there will be amenities that make the development feel like an extension of the UTD campus, other than the shuttle.

Mr. Augustine stated that they conduct research on different universities to determine what to provide, but examples include quiet study areas and an engineering lab.

Commissioner Beach commented that a big issue with the last request was the amount of student housing, which was not supported by UTD or the City at the time, so he wanted to know why the Commission should consider the request at this time.

Mr. Augustine stated they have always been an advocate for student housing and things have evolved since the last approval in 2022. The proposal is still mixed use and they have studied the demand for student housing at UTD where there is currently a waitlist.

Commissioner Beach replied that the original plan had a mix of residential and student housing, so this proposal doesn't seem appropriate.

Mr. Fisher stated in 2022 the proposal was different, but now the need for student housing now at UTD is in huge demand. He expressed it may be arbitrary to distinguish between student residential. He continued to say that many market rate apartments have been approved in the City since the last request, but there is a demand for student housing.

Commissioner Beach commented that he was in favor of the proposed phasing but was not in support of modifying the uses from what was previously approved.

Commissioner Roberts stated he was curious if UTD had commented on the proposal.

Mr. Fisher replied that they have not commented.

Mr. Chavez answered that UTD has not commented, and the Notice of Public Hearing was sent to the University of Texas administrative office.

Mr. Fisher advised that they did not hold a position last time and this is a private development and free enterprise, there is a need for all types of housing, and they would not be in competition with them, it is a different type of housing product, where there is a huge need.

Chairman Marsh asked why they felt it was important to reverse the phasing.

Mr. Fisher replied that the east building has the ground-floor retail, so if we build the west building it would still be required to build the retail somewhere.

Commissioner Purdy asked if there's a photo of the units that has not been staged or furnished.

Mr. Augustine stated all the apartments are fully furnished.

Mr. Fisher indicated that this applicant and the Wolverine developers have each agreed to pay 25% for a traffic light in this area.

Commissioner Poynter asked what Mr. Fisher meant when he stated he wanted people to see the retail area from 190.

Mr. Fisher clarified the retail has been moved to a more exterior and public facing area of the property where it will have more visibility.

Commissioner Poynter inquired if residents in the neighborhood surrounding the development would be able to utilize the retail facilities.

Mr. Fisher stated absolutely everyone can use it.

Commissioner Poynter asked if walking or biking would be easy from Waterview.

Mr. Fisher replied yes, and they will provide bike racks plus the traffic light will help pedestrians and bicyclist.

Commissioner Poynter asked why the hotel was on Waterview Parkway and not along George Bush Turnpike.

Mr. Fisher stated UTD wanted a boutique style hotel that would be more college based and felt they would not get that if the hotel faced George Bush Turnpike.

Commissioner Poynter asked if the development has considered how they will accommodate delivery robots like those used on the UTD campus.

Mr. Fisher replied students will use phone apps to have food delivered directly, but hopefully they will have more options on site.

Commissioner Poynter commented that some apartments have a designated area for food delivery.

Dr. Mehrdad Mazaheri, property owner, 670 W. Campbell Road, Richardson Texas commented that he supported the proposed Wolverine development which will have 4,000 and none will be student housing. He continued stating that he has been aware of the shortage of student housing, and they should come to an agreement to provide housing in a safe environment next to the university.

Chairman Marsh commended Dr. Mazaheri for continuing to work on this development and for his patience. He stated he was happy for the student housing and does not have any issues with which building goes up first, he just wants to make sure that it becomes mixed use. He understands the hardship that was created from the phasing requirements.

Dr. Mazaheri described his observation of traffic flow on the streets around his property and how this area is the in-road to UTD and the City of Richardson. He also advised that this land is not tax-exempt and that he has endured extreme expenses, so this is another reason he would like to see development of the property.

Vice Chairman Southard asked if they had an anticipated timeframe for starting.

Mr. Fisher stated if they received approval they will move forward through platting and permitting and hopefully break ground in a year.

Mr. Augustine confirmed it usually takes a year for due to the complexity of the design and bids.

Vice Chairman Southard asked if there were any propositions made to UTD about the proposal.

Dr. Mazaheri stated that they would allow Wolverine to locate signage around the property to help with visibility and exposure.

Vice Chairman Southard asked if they have had discussions with anyone at UTD.

Mr. Augustine replied no.

Mr. Chavez stated again that a public hearing notice was sent to UTD.

Vice Chairman Southard stated it would be advantageous to contact them.

Mr. Augustine stated that they have meet with UTD (Dr. Calvin Jameson) to discuss this development in the past.

Vice Chairman Southard stated that it would be good to touch base with him again.

Mr. Fisher explained that they reach out to them a few times with no response.

Commissioner Poynter asked more detailed questions on access through and around the site.

Mr. Fisher responded that traffic could drive through the private access road onsite.

Commissioner Poynter asked if the private access road goes all the way to Waterview Parkway.

Mr. Fisher explained that the site has good access and described the various access points and traffic pattern.

Commissioner Poynter wanted to confirm that there was sidewalk access.

Mr. Fisher replied yes.

Commissioner Bohnsack asked if the students in this apartment would leave for school breaks.

Mr. Augustine stated most university students will not leave during the breaks.

Chairman Marsh asked if there were any further questions for the applicant or if there was anyone who wanted to speak in favor or opposition to the request.

Quy Nguyen, 800 W. Renner Road, Richardson, Texas, with Comets for Better Transit, spoke in favor to say the group is in favor of the proposal because it provides much needed student housing to the area and provides access to the DART Silver Line. He explained students have difficulty finding housing at UTD.

Connor Hulia, 3551 Wilshire Way #5153, Richardson, Texas, came forward to say as a former UTD student and current resident he supports the proposal and believes more housing will alleviate housing costs.

Winter Keely, Comets for Better Transit, 2600 Waterview Parkway, Richardson, Texas, spoke in favor to say the student body and the UTD administration have different perspectives. A development like this provides easier means to access campus for students.

Andrew Laska, 502 Hyde Park, Richardson, Texas, spoke to say he was fully in support of the proposal, and explained why the previous constraints put on this project were not appropriate. Also, the expansion Rutford Avenue will provide more interconnectivity to this area.

Julie Robinson, 600 Nottingham, Richardson, Texas, spoke in support of the project to say this proposal will be beneficial to students and our community.

Chairman Marsh asked if there were any other questions or comments. Seeing none, Chairman Marsh made a motion to close the public hearing. Commissioner Beach seconded the motion and the motion passed 7-0.

Chairman Marsh summarized some of the history of this project, and said he was concerned about the apartments get built without the retail component and there is still that risk, but understood the hardship in getting projects financed, and he was in support of the proposal.

Commissioner Southard commented he had reservations but now most of his concerns have addressed, and he was encouraged by the students and residents in support and this project ties in with the Wolverine project to the south.

Chairman Marsh followed up to say there has been a change since the Wolverine project was approved as it relates to requiring developments to provide a mix of uses.

Commissioner Beach encouraged the applicant to work closer with UTD administration.

Motion: Commissioner Roberts made a motion to recommend approval of the Request as presented. Commissioner Bohnsack seconded the motion.
Motion Passed 6-1 (Opposed by Commissioner Beach).



TO: City Council
FROM: Sam Chavez, AICP, Director of Development Services *SDC*
DATE: July 15, 2024
RE: **Zoning File 24-08: PD Planned Development Amendment –ATRE Waterview Student Apartments**

REQUEST

A request to amend the PD Planned Development for a 13.03-acre development located between Waterview Parkway and President George Bush Highway, east of Frankford Road, to allow a mixed-use student-purpose built apartment building on the east side of the property in lieu of a market-rate mixed apartment building and amendments to the development standards.

APPLICANT/PROPERTY OWNER

Maxwell Fisher, ZoneDev / Mehrdad Mazaheri, George Bush Highway Investment LLC & Affordable Space Rental 2018, LLC.

EXISTING DEVELOPMENT

The subject 13.03-acre site is undeveloped.

ADJACENT ROADWAYS

President George Bush Turnpike: Freeway frontage with a variable width right-of-way, 30,800 vehicles per day, east and westbound west of US-75 (2022).

Waterview Parkway: 6-lane divided Arterial, 15,100 vehicles per day, north and southbound, south of PGBT (2022).

Frankford Road: 4-lane divided Arterial; no traffic counts available.

SURROUNDING LAND USE AND ZONING

North: Office / TO-M Technical Office & City of Plano
South: Office / TO-M Technical Office
East: Office / TO-M Technical Office
West: Car Dealership (City of Dallas) / Regional Retail

FUTURE LAND USE PLAN

Regional Employment:

Regional Employment land use designation are generally located along Richardson's highways north of Arapaho Road. Higher density development is appropriate, with the primary use being high-rise office. Secondary uses include retail centers and entertainment venues.

Future Land Uses of Surrounding Area:

North: Regional Employment and City of Plano
South: Regional Employment
East: Regional Employment
West: City of Dallas; Regional Retail

EXISTING ZONING

PD Planned Development (Ordinance Number 4444)

INFRASTRUCTURE/TRAFFIC

Utilities

The proposed request will not have an impact on existing utilities in the area.

Traffic

A Traffic Impact Analysis (TIA) was conducted by BGE, Inc., a traffic engineering firm hired by the applicant to analyze the potential traffic impacts of the proposed development on the 13.03-acre site. The proposed development includes a 5-story building with structured parking with 171 units containing 529 beds (purpose-built student housing), a market-rate 5-story mixed-use building containing 340 apartment and live/work units and 8,000 square feet of retail, two (2) standalone retail buildings totaling 10,100 square feet, and a 4-story, 110-room limited-service hotel.

This study analyzed traffic impacts of the proposed market-rate mixed-used apartment development set to open in 2026. Traffic generated by the proposed development was projected, and nearby major intersections were analyzed for traffic operations in the 2026 background and 2026 background plus site conditions. According to the applicant, the proposed development will add 277 vehicular trips in the AM peak hour (**90 inbound and 187 outbound**), 376 vehicular trips in the PM peak hour (**217 inbound and 159 outbound**), and 4,964 total vehicular trips per weekday to the roadway network. The projected trips include a 5% reduction due to the proximity to the future DART "Silver Line" UTD Station as well as a 15% reduction due to the provision of a shuttle service to and from the main UTD campus by the developer for the proposed development. Additionally, an internal trip capture study was conducted which reflected a 5-10% reduction, depending on the origin and destination of those trips. (Note: Internal trips reflect the amount of generated traffic that travel between the multiple uses in a proposed development. The reduction is expected because those trips would likely not require use of a vehicle.)

A privately contracted shuttle service will be provided to provide transportation to and from the purpose-built student apartment building in Sub Area 1 to the UTD campus during the following days and times:

- The shuttle will run on a continuous loop at approximately 20-to-25-minute intervals Monday through Friday from 8:00am to 10:00am, and 3:00pm to 5:00pm.
- The shuttle will run hourly during non-peak times of Monday through Friday 10AM-3PM, and 5-9PM.
- The shuttle will run as needed on weekends when school is in session.

The capacity analysis indicates that the Level of Service (LOS) is minimally affected with the addition of the proposed site traffic. The City of Richardson requires that any development that provides 5% or more of the total traffic to a failing LOS intersection to provide improvements to bring the roadway or intersection to an improved LOS.

After the completion of the Traffic Impact Analysis the developer decided to replace the market-rate mixed use 340-unit apartment building and live/work units with a proposed 173-unit mixed-use purpose-built student apartment (534 bedrooms). Subsequently, a trip generation comparison was conducted to compare the approved and proposed apartment building types. Based on the comparison the change in land use will have a minor impact on the overall trips generated by the proposed project and will in fact result in lower peak hour traffic generation by the proposed project. This lower trip generation was a result of the 15% reduction applied to the traffic generated by the proposed 173-unit mixed-use purpose-built student building (534 Bedrooms) which was not applicable to the 340-unit market-rate mixed-use apartment building and live/work units in the original land use. Additionally, the students' classes are spread throughout the day, hence this change will also have a reduced impact during AM & PM peak hours.

The only "intersection" where this was applicable is the intersection of Waterview Parkway and the future extension of Rutford Avenue Driveway 2 (see attached Aerial/Zoning Map for location) which already operates at a failing LOS "F". The site traffic contributes 5.0% of total traffic experienced at that intersection; therefore, the developer/owner has agreed to contribute up to 25% of the cost of the construction of the traffic signal. The property south of the subject site (ZF 23-06, UTD/Points at Waterview) was also required to contribute up to 25% of the cost of a traffic signal for the same intersection.

Transportation and Mobility staff conclude that the TIA:

- An addition of a traffic signal at Driveway 2 will be necessary in the future when Rutford Avenue from the south connects to Waterview Parkway after development of the property across Waterview Parkway from the subject property. *Therefore, the developer/owner should contribute up to 25% of the cost of the construction of the traffic signal. The property south of the subject site (ZF 23-06, UTD/Points at Waterview) was also required to contribute up to 25% of the cost of a traffic signal at the same intersection.*
- Assumed the majority of vehicle trips from the development in Sub Area 1 to the UTD campus; considering the cost of parking on-campus, would occur using alternate modes of travel including walking, biking, and transit/shuttle.

- A pedestrian crosswalk will be needed to allow pedestrians to safely cross the intersection at Driveway 2 to the south side of Waterview Parkway. The pedestrian crosswalk should include a Rectangular Rapid Flashing Beacon (RRFB) and construction of a sidewalk along the south side of Waterview eastward to the proposed DART driveway leading to the DART station.
- Traffic impacts to the roadway network and intersections are highly dependent on the assumed travel mode share; and
- Any deviations from the assumed travel mode share will increase the expected delays at the key intersections in the area.

STAFF COMMENTS

Background:

The subject 13.03 undeveloped site was rezoned in 2022 from TO-M Technical Office to Planned Development (PD) to allow development of (See Concept Plan, Exhibit B):

Sub Area 1 (3.89 acres located on the western side of the subject property)

- A five (5)-story, 171-unit purpose-built student apartment building with 529 beds with a total of 451 parking spaces (409 parking garage and 42 surface spaces), including courtyards, a playground area, dog park area, swimming pool, fitness center and secured bicycle storage within the parking garage.

Sub Area 2 (9.13 acres located on the eastern side of the subject property)

- A 5-story, 340-unit market-rate mixed-use apartment building which includes a minimum of five (5) live/work units and 8,000 square feet of ground floor retail with a total of 695 parking spaces (475 parking garage and 220 surface spaces, including courtyards, a swimming pool, fitness center and bicycle racks within the parking garage.
- Two (2), single-story retail buildings (R-3 and R-4) totaling 10,100 square feet.
- One (1), 4-story, 110-room limited-service hotel, including a fitness center, business center and bike racks.

The PD also included phasing requirements for the proposed development that stipulated the following:

1. A Certificate of Occupancy (C.O.) for the purpose-built student apartment building in Sub Area 1 would not be issued until:
 - a. Building permits for the market-rate mixed-use apartment building and buildings R-3 and R-4 in Sub Area 2 had been acquired and vertical construction (framing) of the buildings including parking garages had commenced and 100% of the first-floor framing had been completed,
 - b. The east-west drive-aisle located between the mixed-use apartment building, and the proposed hotel site had been constructed and which was open and unobstructed to vehicular traffic throughout the construction phases of Sub Area 2,

- c. Except for utility service lines, water, sanitary sewer, and storm sewer mains to support construction of the remaining development within Sub Area 2 had been constructed and accepted by the city, and
- d. The sidewalk along Waterview Parkway had been constructed and accepted by the city and a temporary sidewalk connecting the mixed-use building site to the sidewalk along Waterview Parkway within Sub Area 2 had been constructed.

Request:

The applicant’s proposed PD amendment applies to the building type in Sub Area 2, now designated as Phase 1 on the proposed Concept Plan (Exhibit B-1) and the phasing requirements.

Use/Building Type

In general, the proposal is to replace the market-rate mixed-use apartment building (eastern most building, Exhibit “B”) with a mixed-use purpose-built student apartment building (Phase 1, Exhibit “B-1”). Although the purposed purpose-built student apartment buildings are not associated with UTD, they could be leased to non-students.

Attached below is a side-by-side comparison of the approved and proposed request related to use/type of apartment building, number of units and beds, and number of required and provided parking spaces.

	APPROVED	PROPOSED	RESULT
USE	Apartment	Apartment	NA
LOCATION	Sub Area 2 (Exhibit “B”)	Phase 1 (Exhibit “B-1”)	NA
TYPE	Market Rate Apartments, Mixed-Use	Purpose-Built Student Apartments, Mixed-Use	Purpose-Built Student Apartments, Mixed Use
NUMBER OF UNITS	335	173	-162
NUMBER OF BEDS	450 (Excludes Live/Work)	534 (Excludes Live/Work)	+84
REQUIRED PARKING	450 (1/BED)	428 (0.8/BED)	-22
PROVIDED PARKING	475 (1.05/BED)	503 (0.94/BED)	+28
SHUTTLE SERVICE	Not Required	Required	Required
NUMBER OF LIVE/WORK UNITS	5	5	5
RETAIL/CO-WORKING AREA	13,500 S.F.	8,024 S.F.	-5,476 S.F.

Except for the development regulations related to the proposed amendments, all other development regulations of the currently approved PD remain unchanged and relate to the following:

- Permitted Uses

- General Area Regulations
- Parking Ratios Related to Live/Work Units, Hotel and Non-Residential uses
- Building and Area Regulations for Phase 1 and Phase 2 (*identical, including the requirement for live/work units and retail/co-working space as previously approved for the market-rate mixed-use apartment building*)
- Phase 2A (Retail R-3 and Retail R-4, respectively)

Phasing

As currently approved, a Certificate of Occupancy would not be issued for the mixed-use purpose-built student apartment building (Sub Area 1, Exhibit “B”) until:

- Building permits had been issued for the market rate mixed-use apartment building and building R-3 and R-4 (retail buildings) in Sub Area 2,
- Vertical construction (framing) of the buildings including parking garages had commenced and 100% of the first-floor framing had been completed,
- The east-west drive-aisle located between the mixed-use apartment building, and the proposed hotel site had been constructed and which was open and unobstructed to vehicular traffic throughout the construction phases of Sub Area 2,
- Except for utility service lines, water, sanitary sewer, and storm sewer mains to support construction of the remaining development within Sub Area 2 had been constructed and accepted by the City, and
- The sidewalk along Waterview Parkway had been constructed and accepted by the city and a temporary sidewalk connecting the mixed-use building site to the sidewalk along Waterview Parkway within Sub Area 2 had been constructed.

The applicant has proposed the following amendment to the phasing requirement:

- Prior to issuance of a Certificate of Occupancy for “Residential-1” building (Phase 1 - eastern mixed-use purpose-built student apartment building), the following items are required to be completed:
 - The site elements depicted within Phase 1, including water, sanitary sewer, and storm sewer mains to support construction of the remaining development within Phase 2, Phase 2A and 2B have been constructed and accepted by the city as shown on the Concept Plan, and
 - The sidewalk along Waterview Parkway has been constructed and accepted by the City and a temporary sidewalk connecting Phase 1 to the sidewalk along Waterview Parkway within Phase 2B has been constructed.
- A Certificate of Occupancy for “Residential-2” (Phase 2 - western purpose-built student apartment building) shall not be issued until a building permit has been issued and the building(s) are weather tight for either the stand-alone retail buildings R-3 and R-4 (Phase 2A) or the hotel (Phase 2B) as depicted on the proposed Concept Plan (Exhibit “B-1”).

Correspondence: To date, one (1) letter in support of the request has been received and five (5) individuals spoke in support of the request at the May 21st City Plan Commission public hearing.

Motion: On May 21, 2024, the City Plan Commission recommend approval of the applicant's request by a vote of 6-1, subject to the following conditions:

1. The subject Property shall be zoned PD Planned Development District and developed in accordance with the Concept Plan (Exhibit "B-1"), the attached development regulations (Exhibit "C"), and the Building Elevations (Exhibits "D-1 thru "D-4").

Conditions 2 and 3 below were not considered by the Commission as they were discussed with the applicant after the May 21, 2024, City Plan Commission meeting.

2. The developer/owner shall contribute up to 25% of the cost of the construction of a traffic signal at the future intersection of Waterview Parkway and Driveway 2 as depicted on the concept plan.
3. The developer/owner shall install a Rectangular Rapid Flashing Beacon (RRFB) at the intersection at Waterview Parkway and Driveway 2 as shown on the concept plan and a sidewalk shall be installed along the southside of Waterview Parkway eastward to the proposed DART driveway leading to the DART station.

ZF 24-08



**ZF 24-08 Aerial & Zoning Map
Planned Development
ATRE Waterview**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





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 Frisco, TX 75034
 Tel: 972-464-4800 • www.bgeinc.com
 TBPE Registration No. F-1046
 Contact: Justin Loecker
 Tel: 972-464-4800
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DEVELOPER



ALTATERRA
 REAL ESTATE
 CONTACT: MICHAEL AUGUSTINE
 EMAIL: MICHAEL@ALTATERRA.COM

OWNER

**GEORGE BUSH HIGHWAY
 INVESTMENT LLC
 & AFFORDABLE SPACE
 RENTAL 2018 LLC**

ZONING EXHIBIT
 SYNERGY PARK (CR), BLK A, LOTS 7, 8
 AND PART OF LOT 4D; (REPLAT)
**ATRE WATERVIEW
 STUDENT APARTMENT**
 BEING 13.028 ACRES
 1050 FRANKFORD ROAD
 RICHARDSON, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 JUSTIN LOECKER, P.E.

OCTOBER 13, 2022

LOCATION II
 Contractor to verify exact location & depth of Easement Prior to any Construction Activities

CAUTION III
 CONTACT: 1-800-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS	REV. NO.	DATE	DESCRIPTION

DRAWN BY: AT

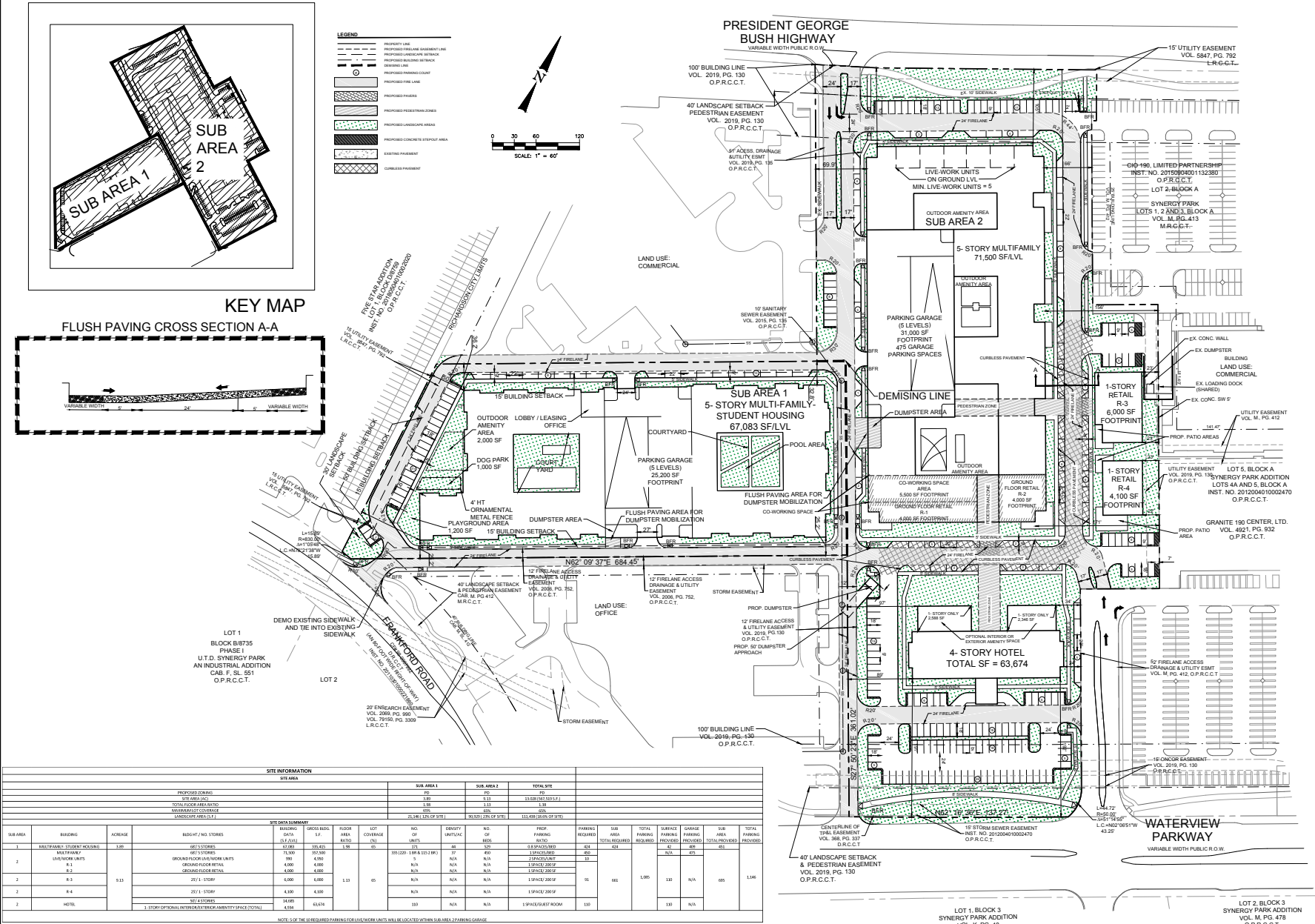
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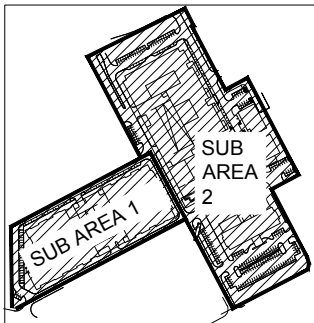
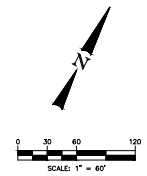
SHEET NUMBER

**PRESIDENT GEORGE
 BUSH HIGHWAY**
 VARIABLE WIDTH PUBLIC R.O.W.



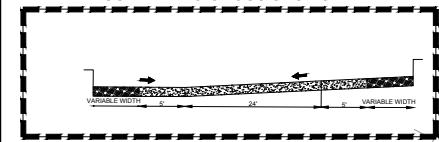
LEGEND

	PROPERTY LINE
	PROPOSED BUILDING EASEMENT LINE
	PROPOSED LANDSCAPE SERVICE
	PROPOSED BUILDING SERVICE
	PROPOSED EASEMENT LINE
	PROPOSED FIRE LINE
	PROPOSED PARKING
	PROPOSED PEDESTRIAN EASEMENT
	PROPOSED LANDSCAPE AREA
	PROPOSED CONCRETE TO EXISTING AREA
	EXISTING PAVEMENT
	EXISTING FOOTPRINT



KEY MAP

FLUSH PAVING CROSS SECTION A-A



SITE INFORMATION

SUB AREA		TOTAL SITE	
PROPOSED ZONING	CR	CR	CR
SITE AREA (AC)	1.18	1.18	11.00 (461,161 SF)
TOTAL FLOOR AREA (SQ FT)	1,180,000	1,180,000	1,180,000
MAXIMUM LOT COVERAGE	100%	100%	100%
LANDSCAPE AREA (%)	10%	10%	10%

SITE DATA SUMMARY

SUB AREA	BUILDING	ACREAGE	BUDGET / NO. STORES	BUDGET		ADJ. AREA	LOT COVERAGE (%)	NO. UNITS	NO. SUITES	NO. GARAGES	NO. OFFICES	NO. COMMERCIAL	NO. HOTEL	NO. OTHER	TOTAL FLOOR AREA (SQ FT)	TOTAL GARAGES	TOTAL OFFICES	TOTAL COMMERCIAL	TOTAL HOTEL	TOTAL OTHER
				\$/SQ FT	\$/UNIT															
1	MULTIFAMILY STUDENT HOUSING	1.08	687 / 2 STORES	\$1,180	\$1,180	1.08	100%	171	171	48	0	0	0	0	1,180,000	48	0	0	0	0
2	MULTIFAMILY	0.10	687 / 2 STORES	\$1,180	\$1,180	0.10	100%	17	17	5	0	0	0	0	118,000	5	0	0	0	0
2	UPPERWORK UNITS	0.00	0 / 0 STORES	\$0	\$0	0.00	0%	0	0	0	0	0	0	0	0	0	0	0	0	0
2	R-1	0.00	0 / 0 STORES	\$0	\$0	0.00	0%	0	0	0	0	0	0	0	0	0	0	0	0	0
2	R-2	0.00	0 / 0 STORES	\$0	\$0	0.00	0%	0	0	0	0	0	0	0	0	0	0	0	0	0
2	R-3	0.00	0 / 0 STORES	\$0	\$0	0.00	0%	0	0	0	0	0	0	0	0	0	0	0	0	0
2	R-4	0.00	0 / 0 STORES	\$0	\$0	0.00	0%	0	0	0	0	0	0	0	0	0	0	0	0	0
2	HOTEL	0.00	0 / 0 STORES	\$0	\$0	0.00	0%	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL			687 / 2 STORES	\$1,180	\$1,180	1.18	100%	171	171	53	0	0	0	0	1,180,000	53	0	0	0	0

NOTE: SOME OF THE PROPOSED PARKING SPACES UNDER UNITS WILL BE LOCATED WITHIN SUB AREA 2 PARKING GARAGE

CURRENT APPROVED Exhibit "B"

Exhibit “C”
Development Standards

1. Intent. The purpose of the PD Planned Development District is to accommodate a mixed-use development of student and young professional housing, retail, and lodging/hospitality uses. The proposal is intended to complement the core of transit-oriented development planned south of Waterview Parkway, at the DART Silver Line Station. The development will expand quality housing and lodging stock for the Richardson community while providing appropriately scaled residential and lodging amenities, and supportive retail and restaurant options.
2. The Property shall be zoned PD Planned Development District and shall be used and developed in substantial conformance with the Concept Plan attached hereto as Exhibit “B-1”. The development shall consist of a minimum of two Phases referred to as Phase 1 and Phase 2 as reflected on the Concept Plan. The Building Elevations attached hereto as Exhibits “D-1” through “D-4”, respectively (collectively, the “Elevations”), and in accordance with the development standards herein.
3. Phase 1 is defined as the approximately 6.044-acre portion of the Property as shown in Concept Plan. Phase 2 is defined as the approximately 6.984-acre portion of the Property as shown in Exhibit B. Within Phase 2B, the 4-story hotel (“Hotel Site”) may be modified to provide for a permitted use for this Phase 2. Any change in use shall require submittal of a revised traffic impact analysis memo (TIA) to the City. The change in use shall be allowed and approved administratively unless the TIA reflects an increase in the number of proposed daily or peak hour trips, as determined by the Director of Development Services, otherwise the proposed change in use shall only be allowed after an amendment to this Planned Development following the process for zoning amendments under the Comprehensive Zoning Ordinance.
4. Permitted Uses. The following uses shall be permitted within specific areas as shown on the attached concept plan (Exhibit “B-1”):

Apartments (Purpose-Built Student Apartments). For the purposes of this PD, Purpose-built student apartments (defined as apartments specifically designed with one full bath (shower and/or tub, sink and toilet) dedicated to each bedroom will be accessed through the bedroom or hallway with permanent shared kitchen, dining and living facilities, capable of being leased to an individual on a per bedroom basis.

Art gallery;
Assisted living facility (requires Special Permit approval);
Bakery;
Bank or financial institution;
Barber or beauty salon;
Book, card or stationary store;
Camera or photographic supply shop;
Childcare center (requires Special Permit approval);
Clothing or apparel store;
Construction field office;
Convenience store;
Drugstore or pharmacy;

Fine arts studio;
Florist;
Furniture, home furnishings and appliance store;
Health club;
Hotel, full-service;
Hotel, limited-service;
Independent living facility (requires Special Permit approval)
Jewelry store;
Laundry pick-up station;
Live/work units (limited to 5-story multi-family/student housing building as shown on Exhibit “B-1”). For purposes of this PD Planned Development, “live/work unit” shall mean a portion of a building integrating both living quarters and a non-residential space such as retail, artist space or gallery, business or other professional office activities in a single unit, where the non-residential use (work) is located on the ground floor and the residential use (live) is located above or behind, or a combination thereof, the non-residential use. If the residential use is located on the ground floor, then the residential use shall be limited to a maximum of 40% of the ground floor area.
Mailing service;
Office;
Parking lot, accessory;
Photography or art studio;
Print shop, minor;
Restaurant without drive-through or curb service;
Tailor shop;
Toy or hobby shop.

5. General Area Regulations.

Building Setbacks: A minimum 100-foot building setback shall be provided along Waterview Parkway and President George Bush Turnpike. A minimum 50-foot building setback shall be provided along Frankford Road. No other setbacks shall be required except as required by the City of Richardson Building Code, as amended.

Landscape Buffers: A minimum 40-foot-wide landscape buffer shall be provided along Waterview Parkway and the President George Bush Turnpike. A minimum 30-foot-wide landscape buffer shall be provided along Frankford Road. Landscaping within the buffers shall be in accordance with the City of Richardson Landscape Policies, as amended.

1. Platting:

- a. Two (2) lots (lots containing Retail buildings R-3 or R-4) shall be allowed to be platted without public street frontage, provided the lots are directly adjacent to a mutual access easement providing access to a public street.
- b. The minimum lot frontage along Frankford Road shall be fifteen (15) feet.

2. Minimum Lot Area: No minimum.

3. Minimum Lot Width: No minimum.
4. Minimum Lot Depth: No minimum.
5. For purposes of this Planned Development District, the apartment developments shown on the Concept Plan shall be considered as one “apartment community” in accordance with Article XV (A-950-M Apartment District) of the Comprehensive Zoning Ordinance, and no physical separation shall be required.

6. Parking.

Off-street parking for this Planned Development District shall comply with applicable provisions of the Comprehensive Zoning Ordinance except as follows:

1. General: Required parking may be satisfied by structured and surface parking spaces.
2. Minimum Parking Requirements:
 - a. Purpose-built student apartments (Residential Phases 1 and 2): 0.8 parking spaces per bedroom.
 - b. Live/Work Units: 2 parking spaces per unit (at least 1 parking space per unit shall be provided within a structured parking area).
 - c. Hotel: 1 parking space per room.
 - d. Other non-residential uses not accessory to student housing: 1 parking space per 200 square feet.

7. Phase 1 Building and Area Regulations.

1. Minimum floor area of dwelling unit:
 - i. 1 Bedroom unit – 450 square feet
 - ii. 2 Bedroom unit – 750 square feet
 - iii. Units with more than 2 Bedrooms – 1,315 square feet
2. Bathroom to Bedroom Ratio: There shall be one (1) bathroom per bedroom.
3. Accessory Buildings: Accessory buildings are prohibited.
4. Maximum Building Height: Sixty-eight (68) feet, including parapet wall.
5. Maximum Number of Units: 173 units.
6. Floor-to-Area Ratio: No maximum.
7. Lot Coverage: The maximum lot coverage shall not exceed 65%.

8. Recreation Areas/Amenities: The following amenities shall be provided: a minimum of three (3), outdoor amenity areas with a minimum of 3,000-square feet of area each as generally shown on Exhibit B, minimum 400-square foot indoor fitness center, minimum 400-square foot clubhouse / gameroom / multi-purpose room, business center, study lounge, swimming pool, outdoor kitchenette or grilling station as generally shown on Exhibit “B-1”.
9. Perimeter Fencing: A perimeter fence is not required.
10. Shuttle Service: An on-site private shuttle service is required to provide transportation of students to and from the UTD campus during the weekday when school is in session.
11. Bicycle Parking: Except as specified in this section, bicycle parking shall be provided in accordance with Article XXII-D, Vehicle and Bicycle Parking of the Comprehensive Zoning Ordinance, as amended. A minimum of seventy-five (75) bicycle storage spaces are required within the building parking garage within a secured, fenced area.
12. Retail: Within the apartment building, a minimum of 8,024-square feet for retail/restaurant and co-working space shall be provided, as shown as on the Concept Plan (Exhibit “B-1”).

8. Phase 2 Building and Area Regulations

1. Minimum floor areas:
- i. 1-bedroom unit: 450 square feet
 - ii. 2-bedroom unit: 750 square feet
 - iii. Units with more than 2 bedrooms: 1,315 square feet
2. Bathroom to Bedroom Ratio: There shall be one (1) bathroom per bedroom.
3. Accessory Buildings: Accessory buildings are prohibited.
4. Maximum Building Height: Sixty-eight (68) feet, including the parapet wall.
5. Maximum Number of Units: 171 units
6. Floor Area Ratio: No maximum.

7. Lot Coverage: The maximum lot coverage for any lot shall not exceed 65%.
8. Recreation Areas/Amenities: At a minimum, the apartment building shall provide a minimum 400-square foot fitness center, swimming pool and two (2) outdoor amenity courtyard areas, and one (1) additional outdoor amenity areas shown on the Concept Plan (Exhibit “B-1”).
9. Perimeter Fencing: A perimeter fence shall not be required.
10. Shuttle Service: An on-site private shuttle service shall be required to provide transportation of students to and from the UTD campus during the weekday when school is in session.
11. Bicycle Parking: Except as specified in this section, bicycle parking shall be provided in accordance with Article XXII-D, Vehicle and Bicycle Parking of the Comprehensive Zoning Ordinance, as amended. A minimum of seventy-five (75) bicycle storage spaces are required within the building parking garage within a secured, fenced area.

9. Phase 2A and Area Regulations

1. Maximum floor areas:
- i. R-3: 6,000 square feet
 - ii. R-4: 4,100 square feet
2. Accessory Buildings: Accessory buildings are prohibited.
3. Maximum Building Height: One story, twenty-five (25) feet.
4. Floor Area Ratio: No maximum.
5. Lot Coverage: The maximum lot coverage for any lot shall not exceed 65%.
6. Bicycle Parking: Shall be provided in accordance with Article XXII-D, Vehicle and Bicycle Parking of the Appendix A of the Comprehensive Zoning Ordinance, as amended.

10. Phase 2B and Area Regulations

1. Maximum floor area:
 - i. Hotel: 63,700 square feet
2. Accessory Buildings: Accessory buildings are prohibited.
3. Maximum Building Height: Four story, fifty (50) feet.
4. Floor Area Ratio: No maximum.
5. Lot Coverage: The maximum lot coverage for any lot shall not exceed 65%.
6. Recreation Areas/Amenities: A fitness center and business center shall be provided on-site.
7. Bicycle Parking: Shall be provided in accordance with Article XXII-D. Vehicle and Bicycle Parking of the Appendix A of the Comprehensive Zoning Ordinance, as amended.

11. Phasing

1. Phase One shall consist of “Residential-1” building as depicted in green on the Concept Plan. Prior to issuance of a certificate of occupancy for “Residential-1” building, the following items shall be completed:
 - a. The site elements depicted within Phase 1, including water, sanitary sewer, and storm sewer mains to support construction of the remaining development within Phase 2, Phase 2A and 2B have been constructed and accepted by the city as shown on the Concept Plan, and
 - b. The sidewalk along Waterview Parkway has been constructed and accepted by the city and a temporary sidewalk connecting Phase 1 to the sidewalk along Waterview Parkway within Phase 2B has been constructed.
2. Phase Two shall consist of “Residential-2” and standalone R-3 and R-4 Buildings, (Phase 2A) or Hotel (Phase 2B) as depicted in orange on the Concept Plan.
3. The City shall withhold the Certificate of Occupancy (CO) for the “Residential-2” western student housing building until a building permit has been issued and the building(s) are weather tight for either the stand-alone retail buildings R-3 and R-4 (2A) or the hotel (Phase 2B) as depicted on the Concept Plan.

12. Special Requirement

1. The developer/owner shall contribute up to 25% of the cost of the construction of a traffic signal at the intersection of Waterview Parkway and the future extension of Rutford Avenue prior to the approval of the development plans for Phase 1.

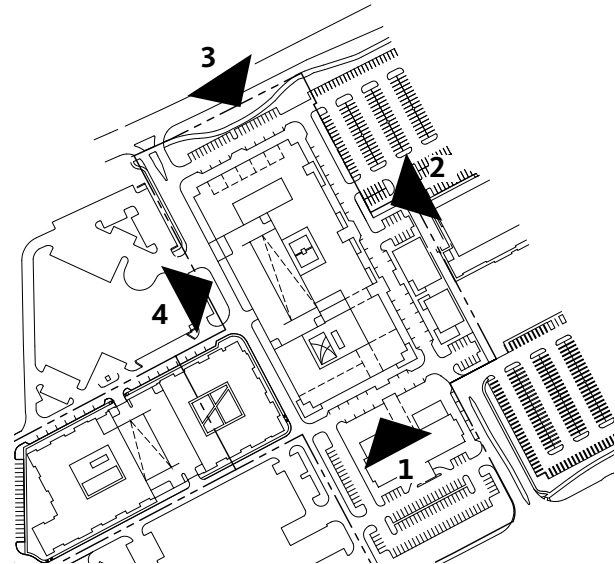
2. The developer/owner shall install a Rectangular Rapid Flashing Beacon (RRFB) at the intersection at Waterview Parkway and Driveway 2 as shown on the concept plan and a sidewalk shall be installed along the southside of Waterview Parkway eastward to the proposed DART driveway leading to the DART station.

BUILDING ELEVATIONS - RESIDENTIAL 1



2-EAST ELEVATION SCALE: 1" = 40'

East Elevation	
Brick	16%
Stucco	13%
Metal Panel	16%
Stone	2%
Fiber cement siding	54%



KEY PLAN (NOT TO SCALE)

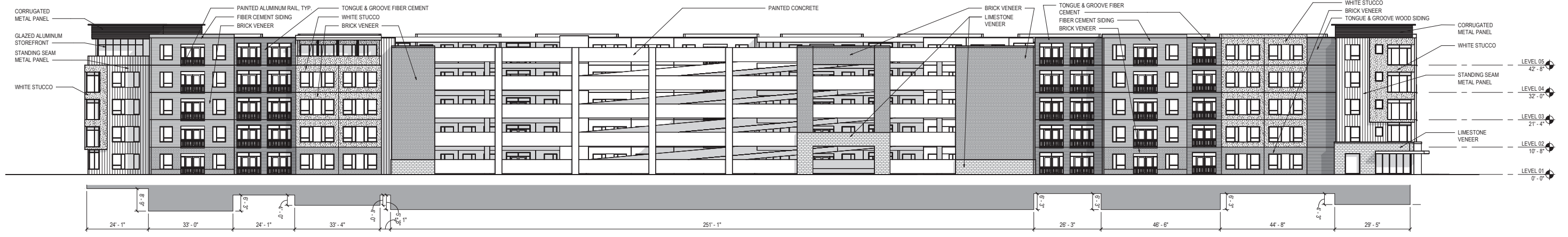


1-SOUTH ELEVATION SCALE: 1" = 40'

South Elevation	
Brick	18%
Stucco	14%
Metal Panel	22%
Stone	8%
Fiber cement siding	38%



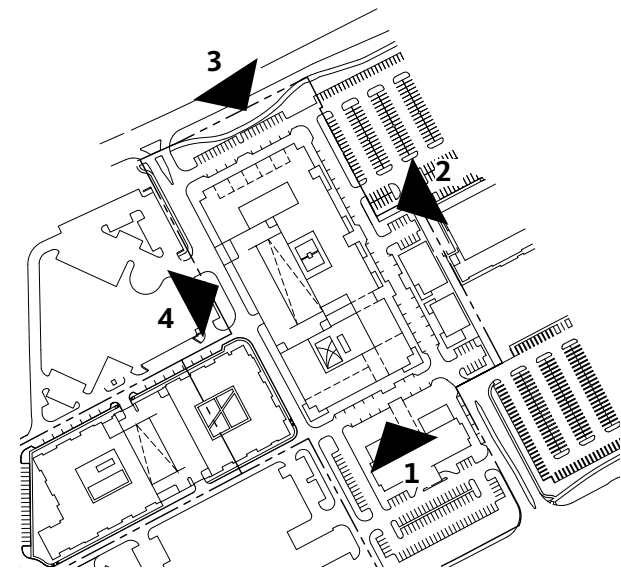
BUILDING ELEVATIONS - RESIDENTIAL 1



4- WEST ELEVATION SCALE: 1" = 40'

West Elevation	
Brick	26%
Stucco	9%
Metal Panel	11%
Stone	7%
Fiber cement siding	19%
Painted Concrete	28%

Number of Garage Levels: 5



KEY PLAN (NOT TO SCALE)

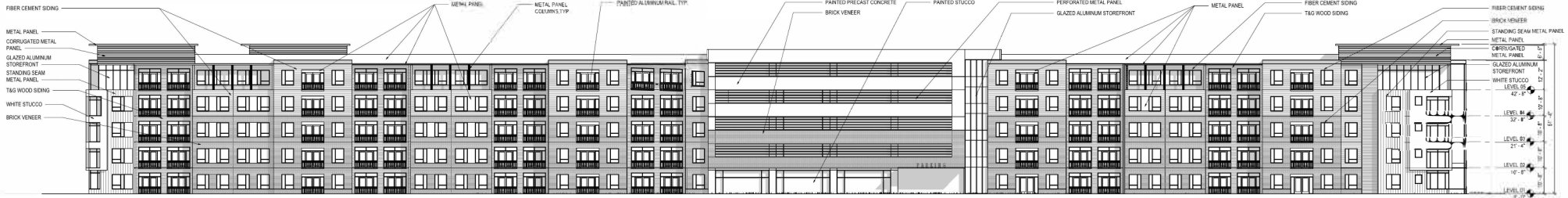


3- NORTH ELEVATION SCALE: 1" = 40'

North Elevation	
Brick	11%
Stucco	16%
Metal Panel	20%
Stone	0%
Fiber cement siding	52%



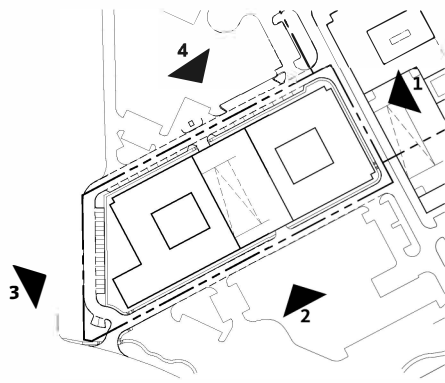
BUILDING ELEVATIONS - RESIDENTIAL 2



2-SOUTH ELEVATION

South Elevation	
Brick	28%
Stucco	5%
Metal Panel	15%
Fiber cement siding	30%
Painted Concrete	2%
Perforated Metal	11%

Number of Garage Levels: 6

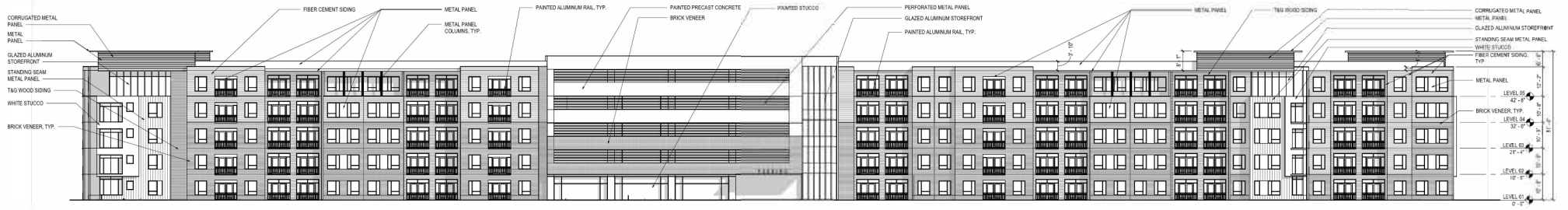


1-EAST ELEVATION

East Elevation	
Brick	27%
Stucco	8%
Metal Panel	34%
Fiber cement siding	31%



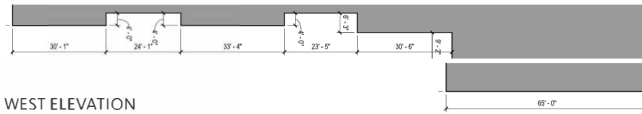
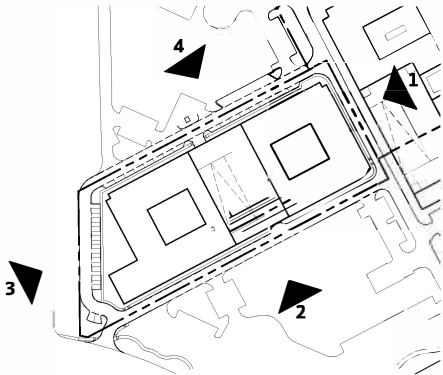
BUILDING ELEVATIONS - RESIDENTIAL 2



4- NORTH ELEVATION

North Elevation	
Brick	26%
Stucco	7%
Metal Panel	37%
Fiber cement siding	25%
Painted Concrete	10%
Perforated Metal	11%

Number of Garage Levels: 6



3- WEST ELEVATION

West Elevation	
Brick	37%
Stucco	7%
Metal Panel	34%
Fiber cement siding	25%



PERFORATED METAL



CORRUGATED METAL



GLAZED ALUMINUM STOREFRONT



METAL PANEL



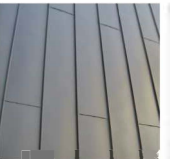
BRICK VENEER



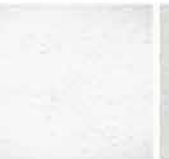
FIBER CEMENT SIDING



T&G WOOD SIDING



STANDING SEAM METAL PANEL



PAINTED PRECAST CONCRETE



STUCCO

NOT FOR REGULATORY USE, PERMITTING, OR CONSTRUCTION
DALLAS, TEXAS | APRIL 11, 2024



BGE, Inc.
 2505 Dallas Parkway, Suite 101
 Frisco, TX 75034
 Tel: 972-464-4800 • www.bgeinc.com
 TBPE Registration No. F-1046
 Contact: Justin Lockyer
 Tel: 972-464-4809

Copyright 2022

DEVELOPER



ALTATERRA
 REAL ESTATE
 CONTACT: MICHAEL AUGUSTINE
 EMAIL: MICHAEL@ALTATERRARE.COM

OWNER

**GEORGE BUSH HIGHWAY
 INVESTMENT LLC
 & AFFORDABLE SPACE
 RENTAL 2018 LLC**

PHASING EXHIBIT
 SYNERGY PARK (ORC), BLK A, LOTS 7, 8
 AND PART OF LOT 4D; (REPLAT)

**ATRE WATERVIEW
 STUDENT APARTMENT**
 BEING 13,028 ACRES
 1050 FRANKFORD ROAD
 RICHARDSON, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 JUSTIN LOCKYER, P.E.
 MARCH 26, 2024

CAUTION II
 Contractor to verify exact location & depth of existing utilities prior to any construction activities.

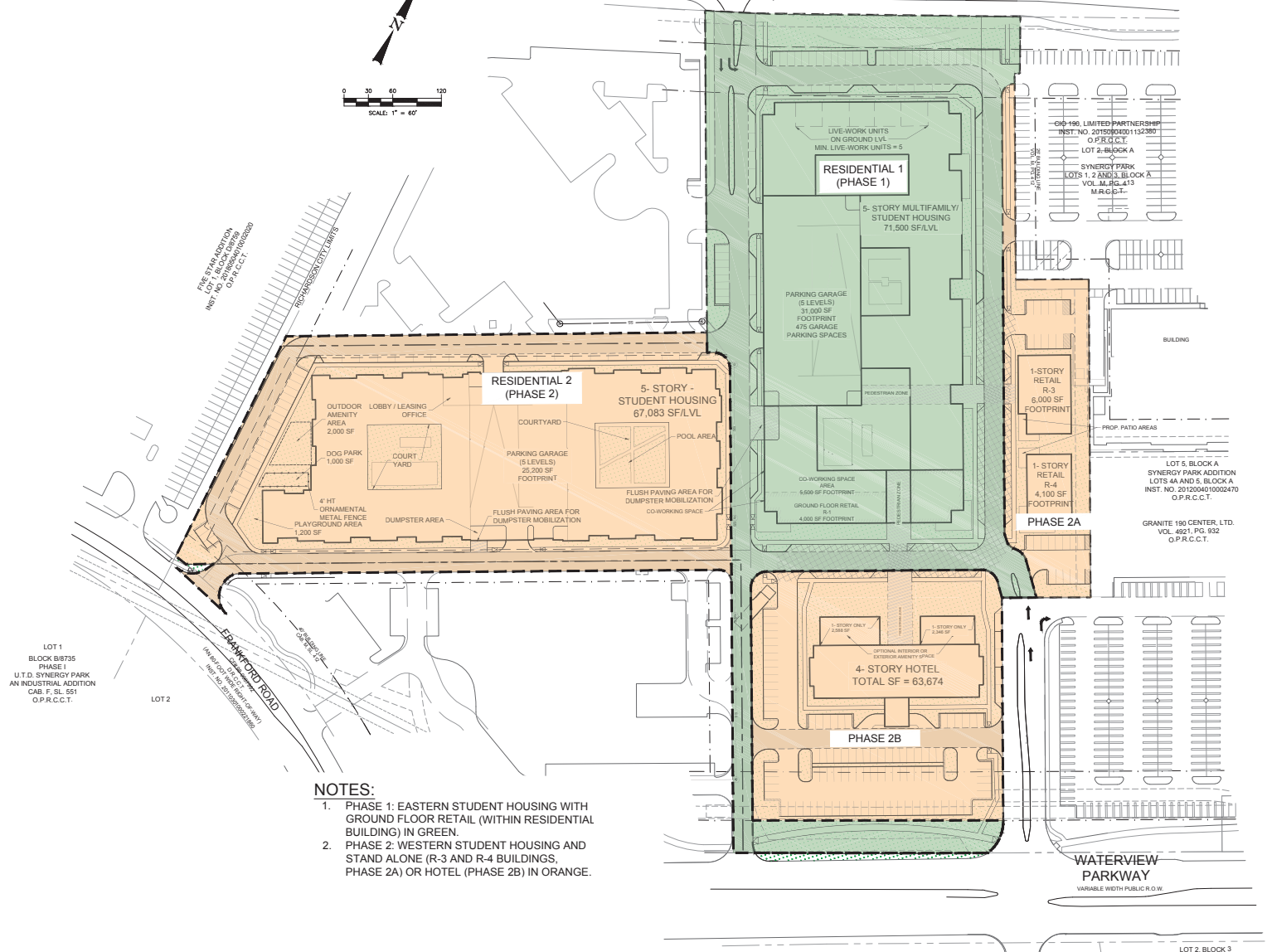
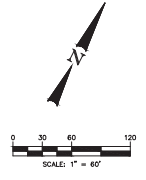
CAUTION III
 CONTACT 1-800-OC-TESS 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS	REV. NO.	DATE	DESCRIPTION

DRAWN BY: AT
 CHECKED BY: LL
 DATE: _____
 PROJECT NUMBER: _____

SHEET NUMBER

PRESIDENT GEORGE BUSH HIGHWAY
 VARIABLE WIDTH PUBLIC R.O.W.



LOT 1
 BLOCK B/8735
 PHASE I
 U.T.D. SYNERGY PARK
 AN INDUSTRIAL ADDITION
 CAB. F. SL. 551
 O.P.R.C.C.T.

LOT 2

FIRE STAIR ADDITION
 LOT 1, BLOCK A
 INST. NO. 2012284010002470
 O.P.R.C.C.T.

FRANKFORD ROAD
 VARIABLE WIDTH PUBLIC R.O.W.

- NOTES:**
- PHASE 1: EASTERN STUDENT HOUSING WITH GROUND FLOOR RETAIL (WITHIN RESIDENTIAL BUILDING) IN GREEN.
 - PHASE 2: WESTERN STUDENT HOUSING AND STAND ALONE (R-3 AND R-4 BUILDINGS, PHASE 2A) OR HOTEL (PHASE 2B) IN ORANGE.

**RESIDENTIAL 1
 (PHASE 1)**

5-STORY MULTIFAMILY
 STUDENT HOUSING
 71,500 SF/LVL

PARKING GARAGE
 (6 LEVELS)
 31,000 SF
 FOOTPRINT
 475 GARAGE
 PARKING SPACES

**RESIDENTIAL 2
 (PHASE 2)**

5-STORY -
 STUDENT HOUSING
 67,083 SF/LVL

PARKING GARAGE
 (5 LEVELS)
 25,200 SF
 FOOTPRINT

PHASE 2B

4-STORY HOTEL
 TOTAL SF = 63,674

1-STORY
 RETAIL
 R-3
 6,000 SF
 FOOTPRINT

1-STORY
 RETAIL
 R-4
 4,100 SF
 FOOTPRINT

PHASE 2A

LOT 1, BLOCK 3
 SYNERGY PARK ADDITION
 VOL. K, PG. 48
 O.P.R.C.C.T.

LOT 2, BLOCK 3
 SYNERGY PARK ADDITION
 VOL. M, PG. 47B
 O.P.R.C.C.T.

PROPOSED PHASING PLAN

ZF 24-08 Site Photos

1-Looking south from PGBT



2-Looking north from Frankford Road





Notice of Public Hearing

City Plan Commission

An application has been received by the City of Richardson for a:

PD PLANNED DEVELOPMENT AMENDMENT

File No.: ZF 24-08
Applicant: Maxwell Fisher, ZoneDev
Location: (See map on reverse side)
Request: **ZF 24-08 ATRE Waterview Student Apartments:** Consider and act on a request to amend the PD Planned Development for a 13.03-acre development located between Waterview Parkway and President George Bush Highway, east of Frankford Road, to allow student-purpose built apartments on the east side of the property in lieu of apartments and amendments to the development standards. Owner: Mehrdad Mazaheri. Staff: Sam Chavez.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, MAY 21, 2024
7:00 p.m.
Richardson City Hall
2360 Campbell Creek Boulevard, Suite 525
Richardson, TX 75082

This notice has been sent to all owners of real property affected by the zoning request and those who are within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: Individuals attending the meeting in person will be allocated a maximum of 3 minutes to address the City Plan Commission to express whether they are in favor or oppose the request.

Persons not attending the meeting who would like their views to be made a part of the public record may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083 or by utilizing the Public Comment Card at <https://www.cor.net/PublicCommentForm>.

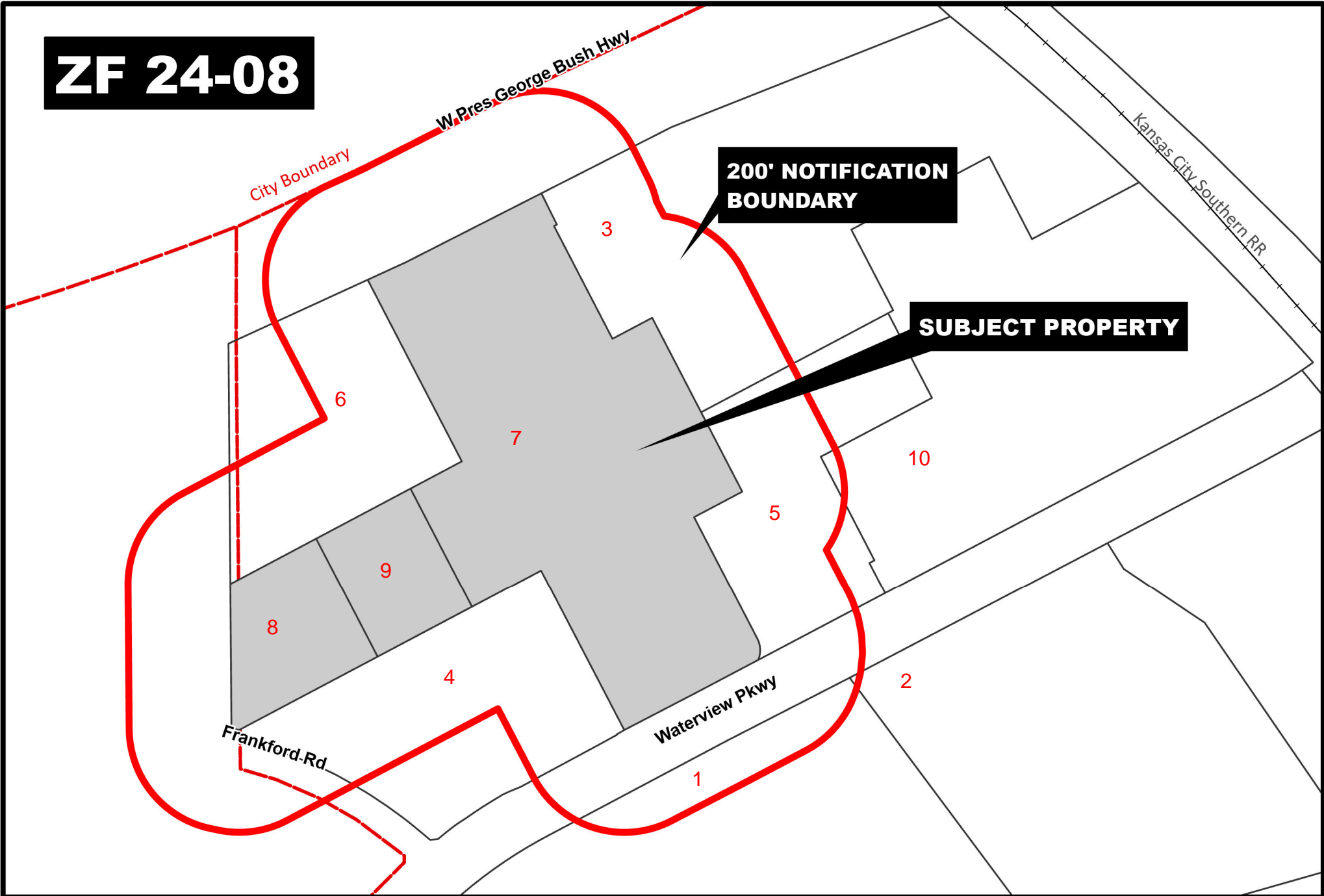
The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 24-08.

Date Posted and Mailed: May 10, 2024

ZF 24-08



ZF 24-08 Notification Map Planned Development Waterview Mixed-Use

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1 3400 WATERVIEW LLC
16250 KNOLL TRAIL DR STE
210
DALLAS, TX 75248

2 BOARD OF REGENTS OF THE UNIVER
OFFICE OF GENERAL COUNSEL- REA
210 W 7TH ST
AUSTIN, TX 78701

3 1301 PRESIDENT GEORGE BUSH HIGHWAY HOLDING
900 19TH ST NW
WASHINGTON, DC 20006

4 TR RICHARDSON IRF LLC
c/o LPC REALTY ADVISORS I
LP
120 N LA SALLE ST STE 2900
CHICAGO, IL 60602

5 GRANITE 190 CENTER LTD
5601 GRANITE PKWY STE 1200
PLANO, TX 75024

6 EMINENT MEDICAL CENTER LLC
18484 PRESTON RD STE 102-333
DALLAS, TX 752525474

7 GEORGE BUSH HIGHWAY
INVESTMENT
670 W CAMPBELL RD STE 100
RICHARDSON, TX 750803395

8 AFFORDABLE SPACE RENTAL 2018 L
670 W CAMPBELL RD STE 100
RICHARDSON, TX 750803358

9 AFFORDABLE SPACE RENTAL 2018 L
670 W CAMPBELL RD STE 100
RICHARDSON, TX 750803358

10 GRANITE 190 CENTER LTD
5601 GRANITE PKWY STE
1200
PLANO, TX 75024

PLANO ISD-SUPT OF SCHOOLS
2700 W. 15TH STREET
PLANO, TX 75075

CITY OF DALLAS
PLANNING & URBAN DESIGN DEPT
1500 MARILLA STREET, ROOM 1FN
DALLAS, TX 75201

**MAXWELL FISHER
ZONEDEV
2502 GRANDVIEW DR
RICHARDSON, TX 75080**

**MICHAEL MAZARHERI
670 W CAMPBELL RD STE 100
RICHARDSON, TX 75080**

ZF 24-08 ATRE Waterview Student Housing



comets for better transit.

Dear Mayor Dubey and Council,

Comets for Better Transit strongly supports Dr. Mazaheri's proposed changes for the Planned Development at ATRE Waterview to convert the market rate housing building in Subarea 2 into purpose-built student housing like Subarea 1.

This change will help us better address the housing shortage around UTD, where the university has only committed to housing 25% of attending students. Dedicated student housing, such as Mazaheri's development, will help keep students from renting in the surrounding suburban area, and provide a lower renting floor for UTD students.

We have some additional requests to consider that would reduce costs and help this development go up faster:

Lower the Parking Minimums

UTD is already over-parked if you look at the University Village parking lots, which sprawl over too much of campus' real estate. Much of the student body is already car free, and this change better promotes active mobility and transit usage, while minimizing inefficient and costly land-use policies. This will also help the developer save money and time, as parking is a major cost in residential spaces.

The **0.8 spaces/bed ratio should be lowered** to a better fit expected usage: closer to 0.5 spaces/bed. This change is more in line with the City Comprehensive Plan's goals of promoting transit oriented developments and multi-modal transit. Studies such as NCTCoG's 2019 study of Transit oriented developments along the red and blue lines support our findings:

https://nctcog.org/getmedia/db78fea4-b2f4-4323-bee4-46a3446dd527/DART_RedBlue_Report_FINAL.pdf

Loosen the Phasing Rules

The current phasing requirement specifies that the retail needs to be completed before the housing can be constructed. This has stalled the development, delivering neither the retail nor the housing components that students need right now.

The requirement should be loosened so that the student housing can be built *in parallel with retail*, rather than being stuck behind the retail's completion.

CfBT thanks the council for considering these changes and commends their work in addressing the ongoing housing shortage in the UTD area and facilitating transit oriented development.



RICHARDSON®
T E X A S

MEMO

DATE: July 8, 2024
TO: Anita Cothran – Director of Finance
FROM: Ally Dobbins – Purchasing Manager *AD*
SUBJECT: Award of Bid #96-24 for the Cooperative Purchase of Municipal Court Office Carpet Replacement to Business Flooring Specialists in the amount of \$50,673.10 through The Local Government Purchasing Cooperative ("Buyboard") Contract #736-24

Proposed Date of Award: July 15, 2024

I concur with the recommendation of Wayne Corum – Director of Facilities and Fleet Services and request permission to issue a purchase order for the Municipal Court Office Carpet Replacement to Business Flooring Specialists in the amount of \$50,673.10 as provided in the attached quote.

The above referenced purchase has been competitively bid through BuyBoard Contract #736-24. The City of Richardson is a member of BuyBoard through its existing interlocal agreement for cooperative purchasing pursuant to Texas Government Code Section 791.025 and Texas Local Government Code Section 271.102.

Funding is from the Facilities Services Operating Fund.

Concur:

Anita Cothran
Anita Cothran

ATTACHMENTS



RICHARDSON
T E X A S

MEMO

TO: Ally Dobbins, Purchasing Manager

THROUGH: Kent Pfeil, Chief Financial Officer

FROM: ^WWayne Corum, Director of Facilities and Fleet Services

SUBJECT: Municipal Court Office Carpet Replacement Contract

DATE: July 2, 2024

ACTION REQUESTED:

Council to consider award for Municipal Court Office Carpet Replacement Contract to Business Flooring Specialists in the amount of \$50,673.10.

BACKGROUND INFORMATION:

The existing carpeting in the Municipal Court Office Area needs to be replaced because there are numerous wear spots, carpet plugs from leveling the floor and worn walk-paths in the carpeting. Also, recently the office cubicles were rearranged to improve employee efficiency resulting in exposed utility opening and furniture impressions in the carpeting from the previous furniture layout.

Over the years, Business Flooring Specialists has completed many installations throughout the city. Based on Business Flooring Specialists past installations, they were selected using Buy Board Contract #736-24 agreement to complete the Municipal Court installation.

FUNDING:

Funding is from Facilities Services operating funds— Facilities account number 0110-20-31-715-000-604399.



BUSINESS FLOORING SPECIALISTS

Quote

137 Payne Street
Dallas, Texas 75207

Phone 214.272.6999 Fax 817.282.9333

Quote #

126742

Customer PO

Contract #

Date

6/28/2024

Sales Person1

Jolene Campbell

Sales Person2

Acct # 4435
For: 972 744-4274 Fax 972 744-5804

Job Site 972 744-4274

City of Richardson
411 West Arapaho Road
Richardson, TX 75080

City of Richardson / PHASE 1 OPEN AREA
BUY BOARD - 736-24
2100 E. Campbell Road
Richardson, TX 75081

Type	Quantity	Product Description Labor Description	Color / Item Number Room	Total
Carpet Tile				
Materials	720SqYd	Bentley Seeing Things 6AT2 CushionBack	Hint 400089	\$34,984.80
Labor	720SqYd	Carpet Tile Labor Furniture lift		\$10,288.80
Notes	**Phase 1** CP1			
Freight				
Materials	720SqYd	Freight		\$1,922.40
Adhesive				
Materials	6Each	Bentley Healthbond 2399 Carpet Tile Adhesive	4 gal	\$1,020.84
Notes	Adhesive			
Base				
Materials	1200LnFt	Roppe 4" 700 Series Cove Base		\$1,032.00
Labor	1200LnFt	Base - Rubber, Vinyl Base - 2.5i and 4i		\$852.00
Notes	COLOR TBD**			
Underlayment				
Materials	10Each	Uzin NC886 Rapid Patch & Smooth	10 lbs Skim & Repair	\$198.30
Labor	10Each	Floor Prep		\$357.10
Notes	MINOR FLOOR PREP BULLET HOLES AND SAW JOINTS			

Information

PRICING IS BROKEN DOWN IN 3 PHASES. THIS IS PHASE ONE WHICH IS THE BULLPEN AREA OUTSIDE KIMBERLY'S OFFICE. PRICING IS BASED ON REGULAR DAYTIME WORK. EXCLUDES ALL OVERTIME, MAJOR FLOOR LEVELING, MOISTURE MITIGATION, EXCLUDES ALL PACKING AND FURNITURE MOVING. BUYBOARD CONTRACT # 736-24.

Total

Labor	\$11,514.76
Materials	\$39,158.34
Contract Total	\$50,673.10
Sales Tax	
Grand Total	\$50,673.10
Date	Ck #
Deposit	

THIS QUOTE IS GOOD FOR 30 DAYS. AFTER THAT BFS SHALL BE REIMBURSED FOR ALL INCREASES IN THE COST OF MATERIAL, FREIGHT, TARIFFS, AND TAXES AS OF THE DATE OF PURCHASE INCLUDING OVERHEAD AND PROFIT.

IF YOU CHOOSE TO PAY VIA CREDIT CARD A 3% CONVENIENCE FEE WILL BE ASSESSED A well-planned maintenance program that includes both preventative maintenance and regular, proper cleaning is key to making sure your flooring retains its appearance over time. Please contact your salesman or

Continuation For: City of Richardson, Quote # 126742

Type	Quantity	Product Description Labor Description	Color / Item Number Room	Total
------	----------	--	-----------------------------	-------

our Maintenance Department at 817-282-1600 for more details.

STANDARD TERMS & CONDITIONS

A sales tax exempt certificate or resale certificate is required before we can proceed with your order.

Upon credit approval, Business Flooring Specialists will furnish, deliver and install the above material in accordance with all transmitted plans, specifications and general conditions for the listed price. All work is to be completed in a workmanlike manner according to standard practices. This contract supersedes any other documents. Job site is to be broom swept and ready for floor coverings with other trades' materials and trash removed.

Unless specifically included or addressed in this proposal: excludes all demolition, repair or take up of existing floors, double layers of flooring; excludes vacuuming, damp mopping, buffing, waxing or floor protection; excludes floor floating, leveling or repair; excludes sealing of floor, cleaning or removal of oil, grease, solvents, paints, plaster, or other foreign substances; excludes asbestos control abatement; moisture mitigation; includes no attic stock of material beyond installation overage; includes work only during regular hours and for a single phase job; excludes any furniture moving; excludes any addenda beyond the base bid; BFS must be notified if curing compounds or densifiers have been used.

Floor Preparation will be billed on a time and material basis. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above this estimate. Client is subject to payment for stored materials. Any material held over 2 weeks will be invoiced as a material draw. Business Flooring Specialists will not accept charge backs of damage or cleaning without the option to inspect claim (s) to repair or without the option to make arrangements for acceptable repairs at their expense. Monies from this contract may not be withheld to satisfy other contracts. Business Flooring Specialists is not responsible for any claims that might result from product delivery date changes beyond their control. If a manufacturer requires a deposit to manufacture/ship certain items, client will pay amount required.

Owner to carry fire, tornado and other necessary insurance. Payments not paid with above mentioned terms will be charged a maximum interest allowable by law, including any collection and attorney fees, to secure full payment of the hereunder.

This proposal is valid for thirty (30) days. Full payment is due fifteen (15) days from date of invoice unless otherwise specified.

Buyer _____ Date _____

Seller _____ Date _____

DATE: July 8, 2024
TO: Anita Cothran – Director of Finance
FROM: Ally Dobbins – Purchasing Manager *AD*
SUBJECT: Award of Competitive Sealed Proposal (“CSP”) #904-24 for Hunt Branch Drainage and Utility Improvements in the amount of \$4,142,021.19
Proposed Date of Award: July 15, 2024

I concur with the recommendation of Nick Kohel – Assistant Director of Engineering & Capital Projects, and request permission to award a contract to McMahon Contracting, L.P. for the above referenced construction in the amount of \$4,142,021.19, as outlined in the attached memo.

Proposals were evaluated on the following criteria specified in the CSP:

1. Contract Proposal Cost – (50%)
2. Qualifications of Proposers and Subcontractors – (20%)
3. Qualifications of Proposed Key Personnel – (20%)
3. Project Schedule and Construction Sequence – (10%)

Four (4) proposal were received and evaluated by representatives from Engineering & Capital Projects. McMahon Contracting, L.P. was the highest ranked firm based on the criteria listed above.


Funding is provided from 2015 Bond Program, Water and Sewer Fund, and Drainage Fund.

The CSP was advertised in *The Dallas Morning News* on March 27, April 3 & 10, 2024 and posted on Periscope. A total of 52,431 electronic solicitations were distributed and sixty-four (64) vendors viewed the CSP. A pre-proposal conference was held on April 10, 2024 and four (4) proposals were received.

Concur:

Anita Cothran
Anita Cothran



TO: Ally Dobbins, Purchasing Manager
THROUGH: Charles Goff, Assistant City Manager 
FROM: Nick Kohel, P.E., Assistant Director of Engineering and Capital Projects
SUBJECT: Permission to Award Construction Contract for Hunt Branch Drainage and Utility Improvements Project, CSP No. 904-24
COUNCIL DATE: July 15, 2024
DATE: June 21, 2024

ACTION REQUESTED:

Council to consider contract award to McMahon Contracting, LP. for the construction of the Hunt Branch Drainage and Utility Improvements Project, in the amount of \$4,142,021.19 (Base Bid plus Alternate Bid).

Negotiated Base Bid: \$4,154,977.01
Alternate Bid: \$ (12,955.82)
Total Bid: \$4,142,021.19

BACKGROUND INFORMATION:

Hunt Branch storm sewer improvements were recommended by the 2010 Hunt Branch Watershed Capital Improvement Plan (CIP) Study to improve drainage and reduce risk of flooding resulting from both frequently occurring and 100-year storms. The CIP Study recommended improvements along Hunt Branch and Cottonwood Drive from Belt Line Road to Cherrywood Drive. However, due to the high bids previously received for this project and current funding levels, project scope and limits were reduced to focus on the critical drainage and utility issues as the first of two-phase approach for the implementation of the recommended improvements. Phase 1 limits (included in this contract) are from Belt Line Road at Hunt Branch to approximately 400' North along Cottonwood Drive. Phase 2 will extend improvements along Cottonwood Drive from Phase 1 northern limits to Cherrywood Drive and Hunt Branch crossing. Phase 2 improvements will be considered for future funding.

The project scope calls for replacing undersized culverts, replacing old cast iron water mains with new PVC pipe, replacing clay tile sewer mains with new PVC pipe, reconstruction of deteriorated street pavement, as well as sidewalk and barrier free ramp improvements. The Alternate Bid consists of installing of crushed stone flexbase in lieu of lime stabilization of the subgrade with the goal to reduce cost and accelerate the construction schedule by reducing duration associated with lime stabilization.

On 4/25/2024, the Engineering and Capital Projects Department opened bids for the Hunt Branch Drainage and Utility Improvements Project. The lowest responsive bid was submitted by McMahon Contracting, LP. City Staff conducted negotiations in accordance with Texas Government Code Section 2269.155 and were able to negotiate the contract amount down to the award amount of \$4,142,021.19. City Staff recommends awarding this contract to McMahon Contracting, LP. In the amount of \$4,142,021.19.

FUNDING:

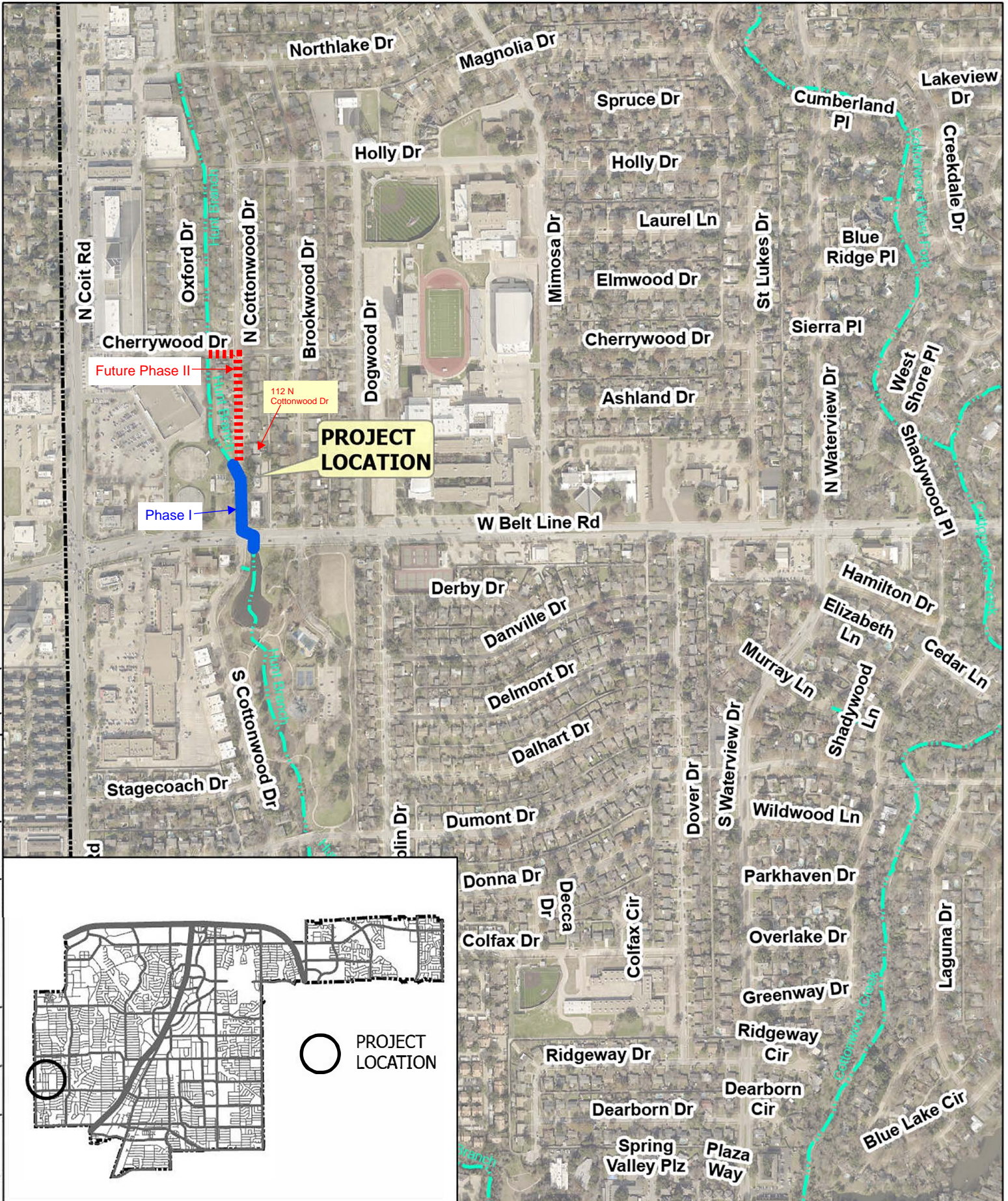
Funding is from 2015 Bond Program Fund, Water / Sewer CO Fund and Drainage Fund

SCHEDULE:

Construction is expected to start in August 2024 and be complete by April 2025

Attachments: Bid Tabulation, Project Map

Hunt Branch Drainage and Utility Improvements



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