

City Council Work Session Handouts

December 10, 2012

- I. Review and Discuss Zoning File 12-19
- II. Review and Discuss Zoning File 12-20
- III. Review and Discuss Ordinance No. 3894
- IV. Review and Discuss the Naming of Heights Small Neighborhood Park on Weathered Drive

City Council Worksession

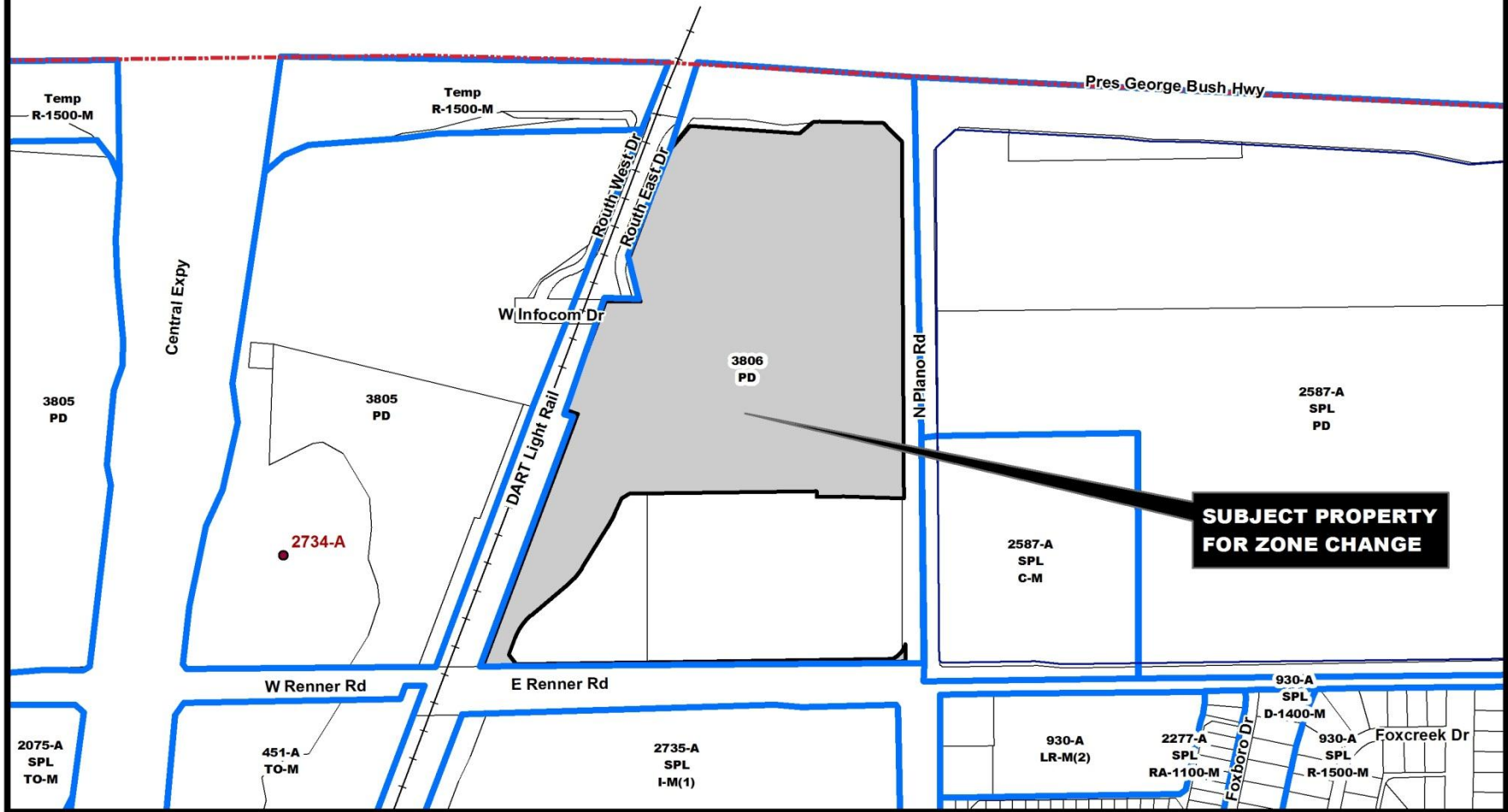


December 10, 2012

Meeting Begins at 6:00 P.M.

ZF 12-19

ZF 12-19



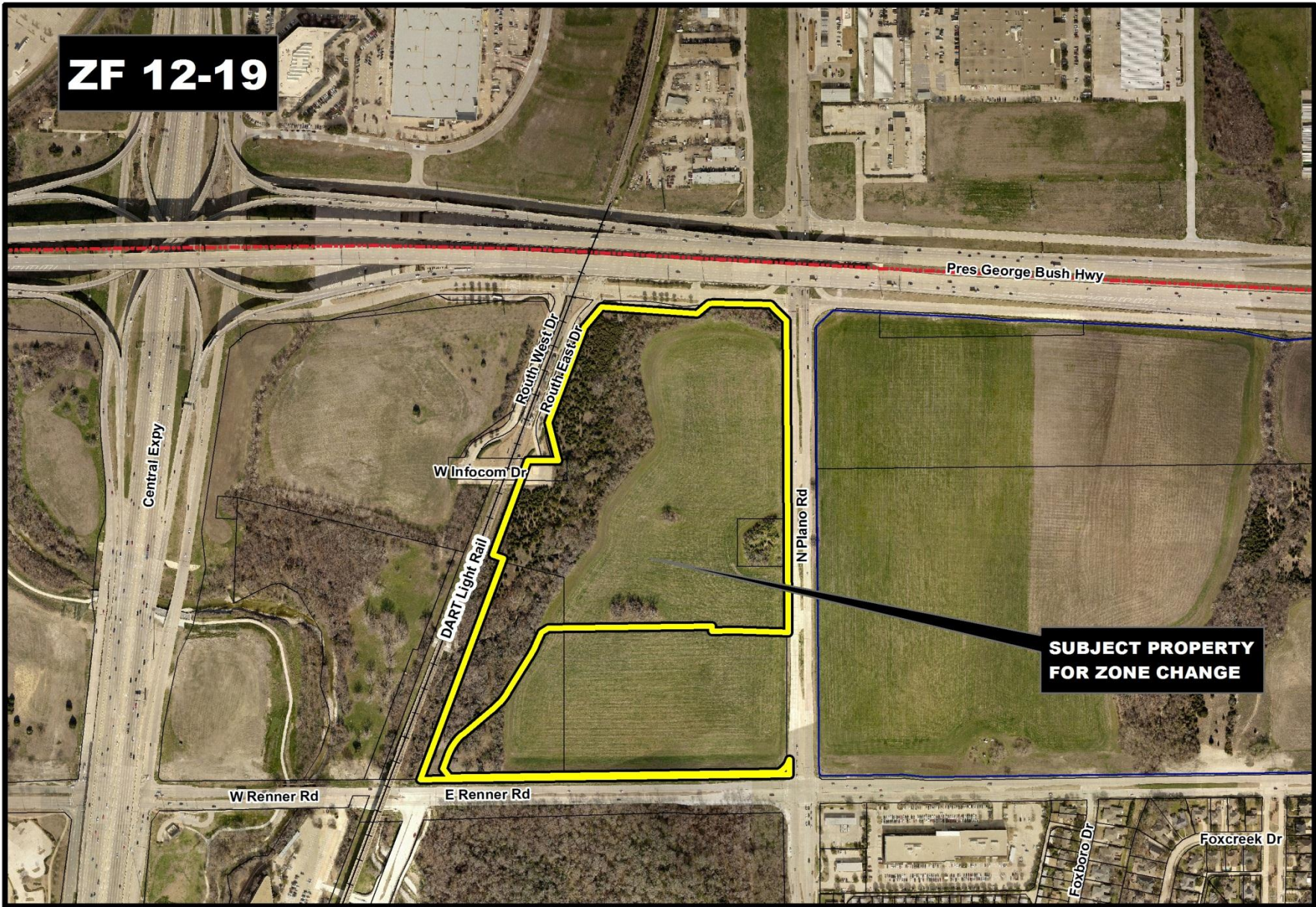
ZF 12-19 Zoning Map

Updated By: shacklett, Update Date: November 16, 2012
File: DSIMapping\Cases\Z\2012\ZF1219\ZF1219 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 12-19



**SUBJECT PROPERTY
FOR ZONE CHANGE**

ZF 12-19 Aerial Map

Updated By: shacklett, Update Date: November 16, 2012
File: DSIMapping\Cases\Z\2012\ZF1219\ZF1219_ortho.mxd

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City of Plano

PGBT

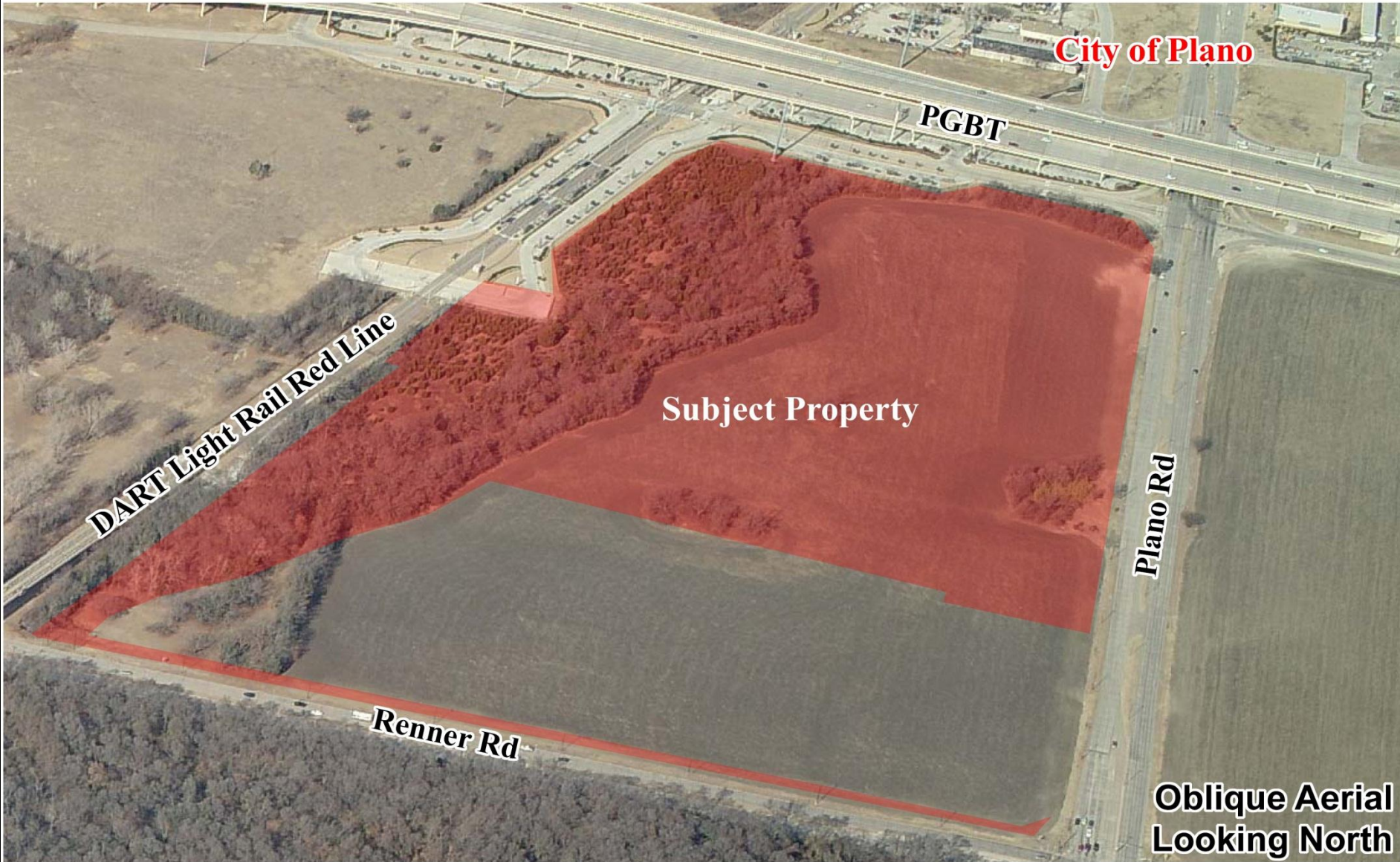
DART Light Rail Red Line

Subject Property

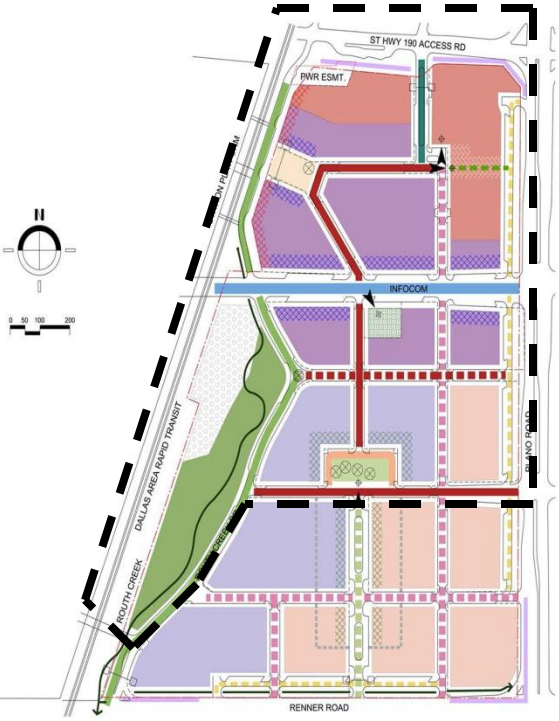
Plano Rd

Renner Rd

**Oblique Aerial
Looking North**



APPENDIX A



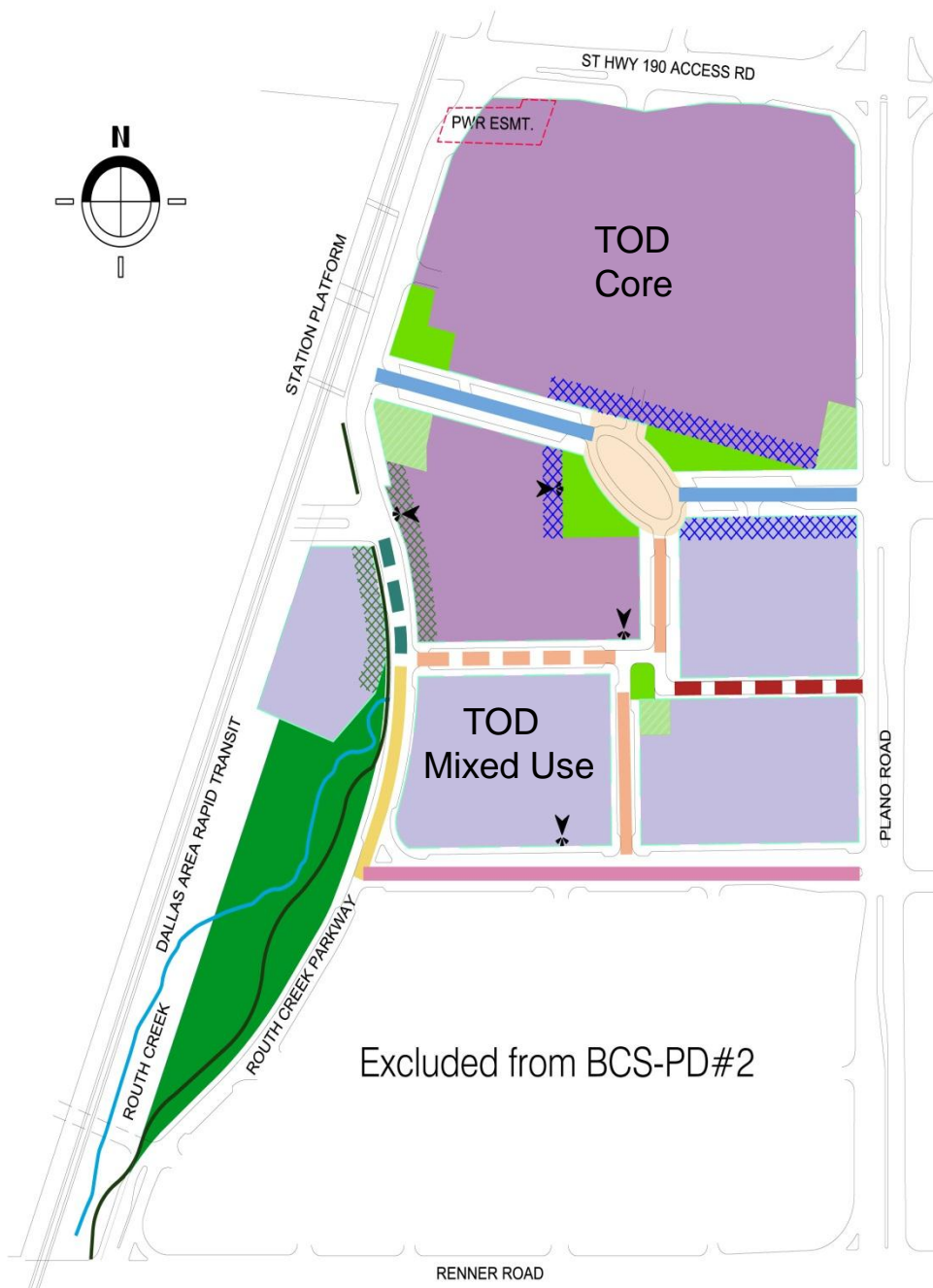
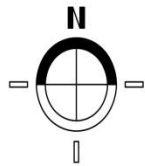
CHARACTER ZONES		STREET DESIGNATIONS BY STREET TYPE	
Character Zone	Approx. Area (Acres)	TYPE 'A' STREETS	
TOD Core	8.22	TOD Main Street	TOD Street Type 'X'
TOD Mixed Use	8.29	Parkway	Park Avenue
Highway Mixed Use	4.34	Court Street	
Arterial Mixed Use	7.76		
OPEN SPACE TYPES		TYPE 'B' STREETS	
Mandatory Park	3.65	TOD Street Type 'B'	TOD Avenue
Mandatory Green	0.38	Slip Lane Frontage	'W' Street Frontage
Mandatory Square	0.28	Solid line denotes mandatory street	Dashed line denotes non-mandatory street
Mandatory Plaza	0.39		
Non-mandatory Plaza	0.39	OTHER	
Non-mandatory Streets	5.1	Approximate District Boundary	Non-mandatory Alley
FRONTAGE TYPES		Non-mandatory Pedestrian Passage	Multi-Use Trail
Mandatory Main Street Frontage		Existing tree to remain - non-mandatory	Non-mandatory Gateway Element
Mandatory Station Platform Frontage		Non-mandatory Vista Terminus	Special Destination
Non-mandatory Neighborhood Frontage			

Current Regulating Plan



CHARACTER ZONES		STREET DESIGNATIONS	
TOD Core	14.83 Acres	Street Type 1	Street Type 2
TOD Mixed Use	9.66 Acres	Street Type 3	Street Type 4
CIVIC / OPEN SPACE TYPES		Street Type 5	Street Type 6
Mandatory Plaza	0.7 Acres	Solid line denotes Type 'A' Street	Dashed line denotes Type 'B' Street
Mandatory Green or Square	1.10 Acres	Note: Plano Road, SH 190 Access Road and the Station Platform frontage shall be considered as Type 'B' Street frontages for the purposes of the Bush Central PG #2	
Mandatory Park	3.57 Acres	OTHER	
Non-Mandatory Green or Square	0.54 Acres	Approximate District Boundary	Property Line
SPECIAL FRONTAGE TYPES		Multi-Use Trail	Existing Creek
Main Street Frontage		Existing Tree	Terminated Vista
Pedestrian Priority Frontage			

Proposed Regulating Plan



LEGEND	
CHARACTER ZONES	
TOD Core	14.83 Acres
TOD Mixed Use	9.66 Acres
CIVIC / OPEN SPACE TYPES	
Mandatory Plaza	0.7 Acres
Mandatory Green or Square	1.10 Acres
Mandatory Park	3.57 Acres
Non-Mandatory Green or Square	0.54 Acres
SPECIAL FRONTAGE TYPES	
Main Street Frontage	
Pedestrian Priority Frontage	
STREET DESIGNATIONS	
Street Type 1	Street Type 2
Street Type 3	Street Type 4
Street Type 5	Street Type 6
— Solid line denotes Type 'A' Street - - - Dashed line denotes Type 'B' Street	
Note: Plano Road, SH 190 Access Road and the Station Platform frontage shall be considered as Type 'B' Street frontages for the purposes of the Bush Central PD #2	
OTHER	
— Approximate District Boundary — Property Line — Multi-Use Trail — Existing Creek — Terminated Vista	

REGULATING PLAN - APPENDIX A-1

Bush Central Station

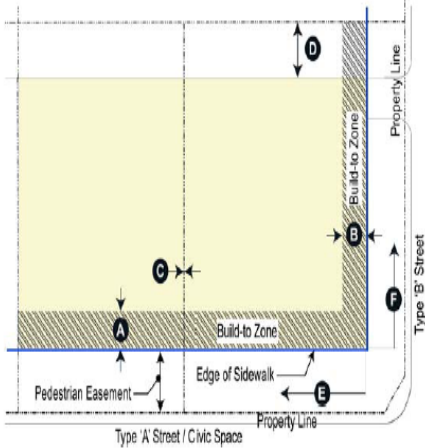
Planned Development Code #2

Exhibit C

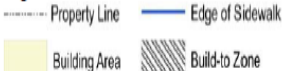
Not to scale

7.1 TOD Core Zone

7.1.1 Building Placement



Legend



Build-To Zone (BTZ)

(Distance from edge of sidewalk to edge of the BTZ) (see #12)

Front (Type 'A' Street and Civic Space Frontage)	0 – 10 feet	A
Front (Type 'B' Street Frontage)	0 – 10 feet (see #1)	B

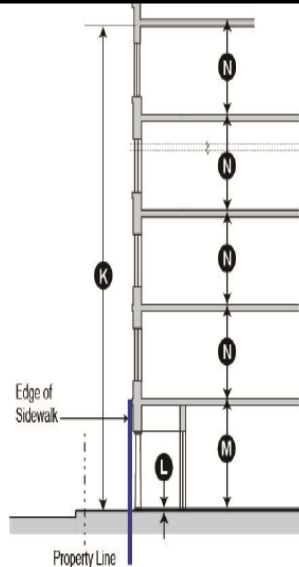
Setback

Side (from property line)	0 feet (see #2)	C
Rear (from property line)	5 feet	D

Building Frontage

Building Frontage required along Type 'A' Street/civic space BTZ	90% (min.) (see #3 and #6)	E
Building Frontage required along Type 'B' Street BTZ	0% (min.) (see #3 and #6)	F

7.1.2 Building Height



Principal Building Standards

Building maximum	350 feet (see #7)	K
First floor to floor height	15 feet (min.) (with Main Street Frontage designation) 10' min (for all other frontages) (see #4)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floors of Main Street Frontage buildings)	L
Upper floor(s) height (floor-to-ceiling)	10 feet min.	N

7.1.3 Special Frontage Requirements

Requirements Specific to Main Street Frontage

Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by residential units and lodging rooms to a minimum depth of 30 feet as measured from the front building line.

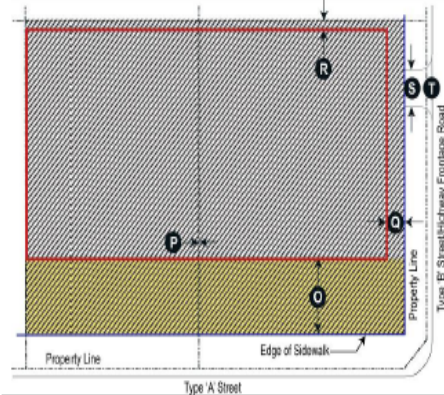
Requirements Specific to Pedestrian Priority Frontage:

Ground floors of all buildings designated as Pedestrian Priority Frontage with ground floor parking uses shall meet the design standards in Section 8.1.2 (vi) of this Code.

Notes

- #1 – The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street facades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

7.1.4 Parking & Service Access



Legend



(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line along that street or 6' behind the edge of the sidewalk along that street (if no building along that frontage)	Q
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R
Above Grade Parking		
Setback along Type 'A' Street, Type 'B' Street and Civic Space (distance from edge of the sidewalk)	0 feet min.	O
Side and rear setbacks (distance from property line)	0 feet min.	
Upper Floors	May be built up to the building line	

(ii) Required Off-Street Parking Spaces (see #10 and #11)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit

(iii) Driveways and Service Access

Parking driveway width	30 feet max. (except when drives may need to be wider to address service access or fire lane standards)	S
No more than one driveway per 400 feet of block frontage shall be permitted on a Type 'A' Street		
Off-street loading and unloading shall not be located on a Type 'A' Streets.		T
Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service.		

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

7.1.5 Encroachments

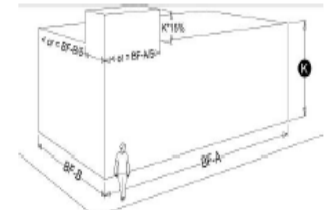
Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.1.6 Applicability

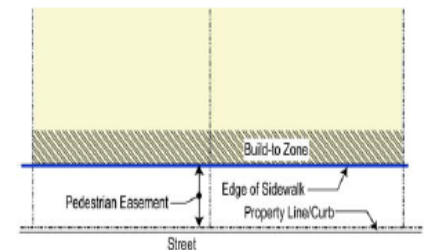
Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

- #4 – First floor heights shall not apply to parking structures.
- #5 – All buildings in the TOD Core Zone shall meet the Building Design Standards in Section 8.
- #6 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Bush Central Station Planning List in Appendix B-1 of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.
- #7 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



- #8 – Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.
- #9 – Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line.
- #10 – Required parking may be provided anywhere within the Bush Central Station PD #2.
- #11 – Article III, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.
- #12 – Note about measuring build-to-zones and setbacks: Build-to-zones and setbacks shall be measured from the edge of the sidewalk closest to the building.





Images – Building materials within TOD Core and TOD Mixed Use zones



Images – Architectural precast concrete panels as primary material



Other Images – Architectural precast concrete panels as primary material

Locator Map



Street Type 1

Right-of-Way: 60 feet
Design Speed: 25 mph
On-Street Parking: Yes, angled on both sides
Number of Vehicular Lanes: 2 (@ 12 feet each)
Number of Bike Lanes: None
Curb Radius: 20'
Pedestrian Easement: 12' min sidewalk
Landscape Type: Street trees @ 40' on-center (avg)

Street Section



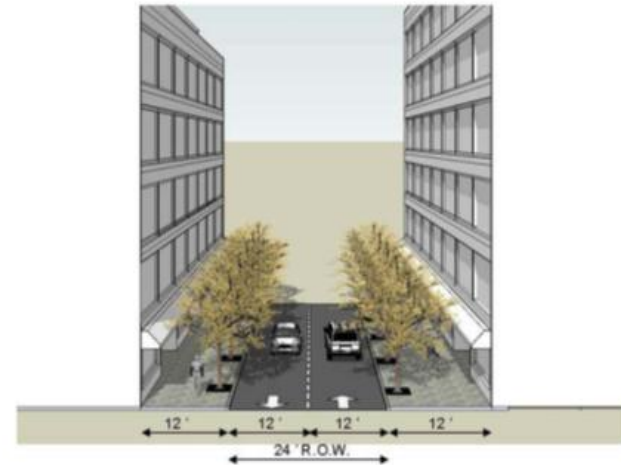
Locator Map



Street Type 2

Right-of-Way: 24 feet
Design Speed: 25 mph
On-Street Parking: None
Number of Vehicular Lanes: 2 (@12 feet each)
Number of Bike Lanes: None
Curb Radius: 20'
Pedestrian Easement: 12' min sidewalk
Landscape Type: Street trees @ 40' on-center (avg)

Street Section



New Street Cross Sections

Locator Map



Street Type 3

Right-of-Way: 40 feet
Design Speed: 25 mph
On-Street Parking: Yes, parallel on both sides
Number of Vehicular Lanes: 2 (@12 feet each)
Number of Bike Lanes: None
Curb Radius: 20'
Pedestrian Easement: 12' min sidewalk
Landscape Type: Street trees @ 40' on-center (avg)

Street Section



Locator Map



Street Type 4

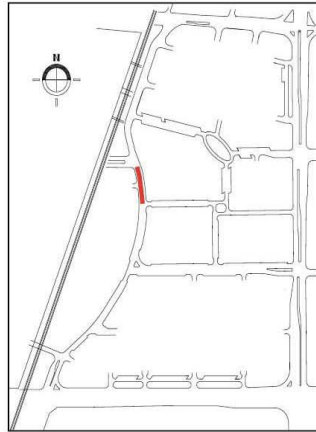
Right-of-Way: 55 feet
Design Speed: 25 mph
On-Street Parking: Yes, parallel on both sides
Number of Vehicular Lanes: 3 (2 @ 14' width and 1 center turn lane @ 11')
Number of Bike Lanes: 2 shared bike lanes
Curb Radius: 20'
Pedestrian Easement: 12' min sidewalk
Landscape Type: Street trees @ 40' on-center (avg)

Street Section



New Street Cross Sections

Locator Map



Street Type 5

Right-of-Way: 39 feet

Design Speed: 25 mph

On-Street Parking: None

Number of Vehicular Lanes: 3 (2 @ 14' width and 1 center turn lane @ 11')

Number of Bike Lanes: 2 shared bike lanes

Curb Radius: 20'

Pedestrian Easement: 12' min sidewalk

Landscape Type: Street trees @ 40' on-center (avg)

Street Section



New Street Cross Section

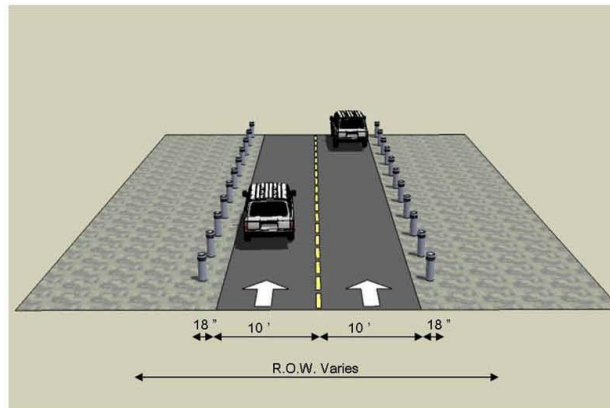
Locator Map



Plaza Section

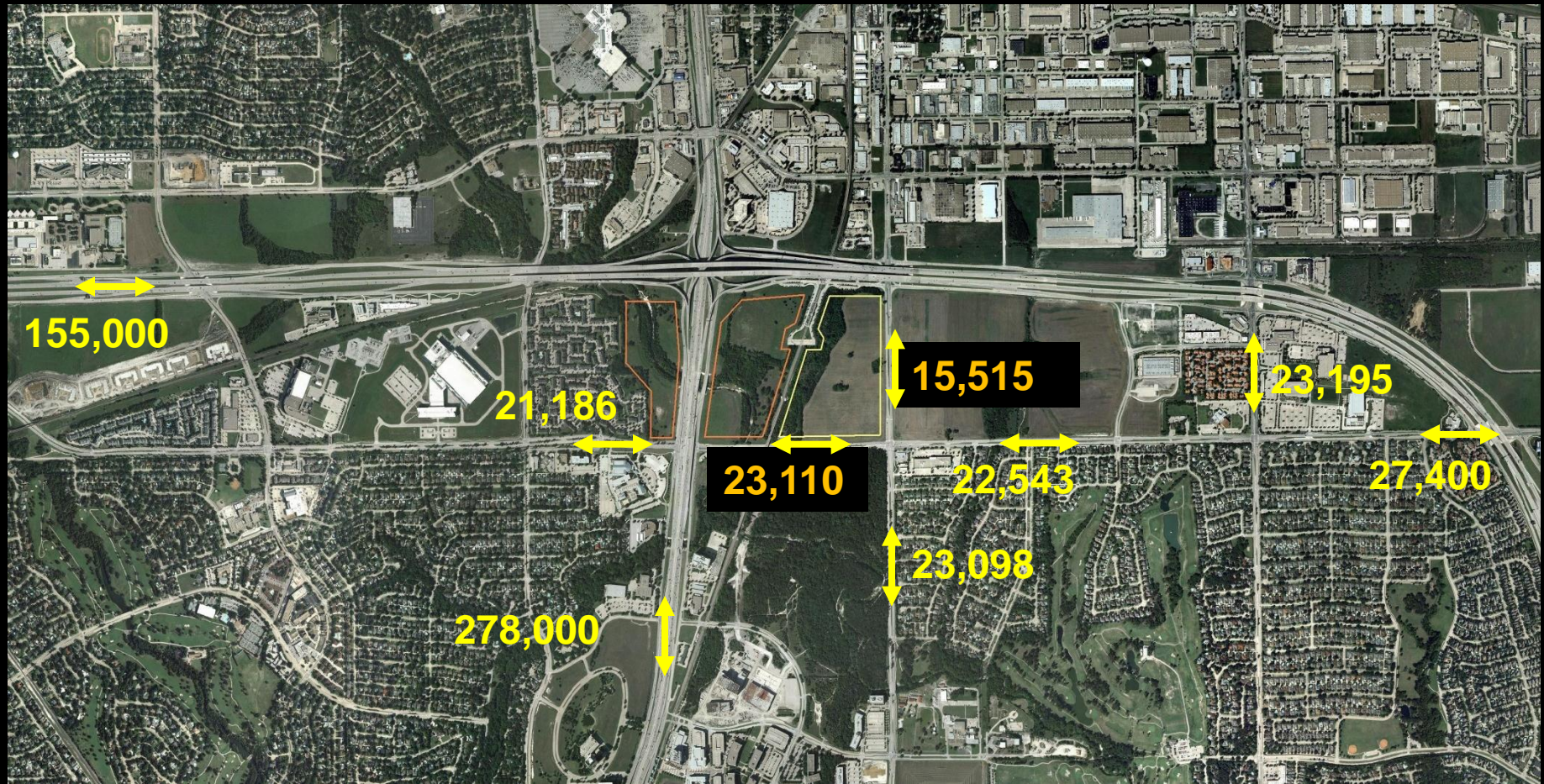
Right-of-Way: Varies
Design Speed: 10 mph
On-Street Parking: No, curbside loading and unloading only
Number of Vehicular Lanes: 2 (@ 10' each)
Number of Bike Lanes: NA
Curb Radius: 20'
Pedestrian Accommodation: Varies
Landscape Type: Varies

Street Section



New Street Cross Section

Daily Traffic Volume Counts (2012)



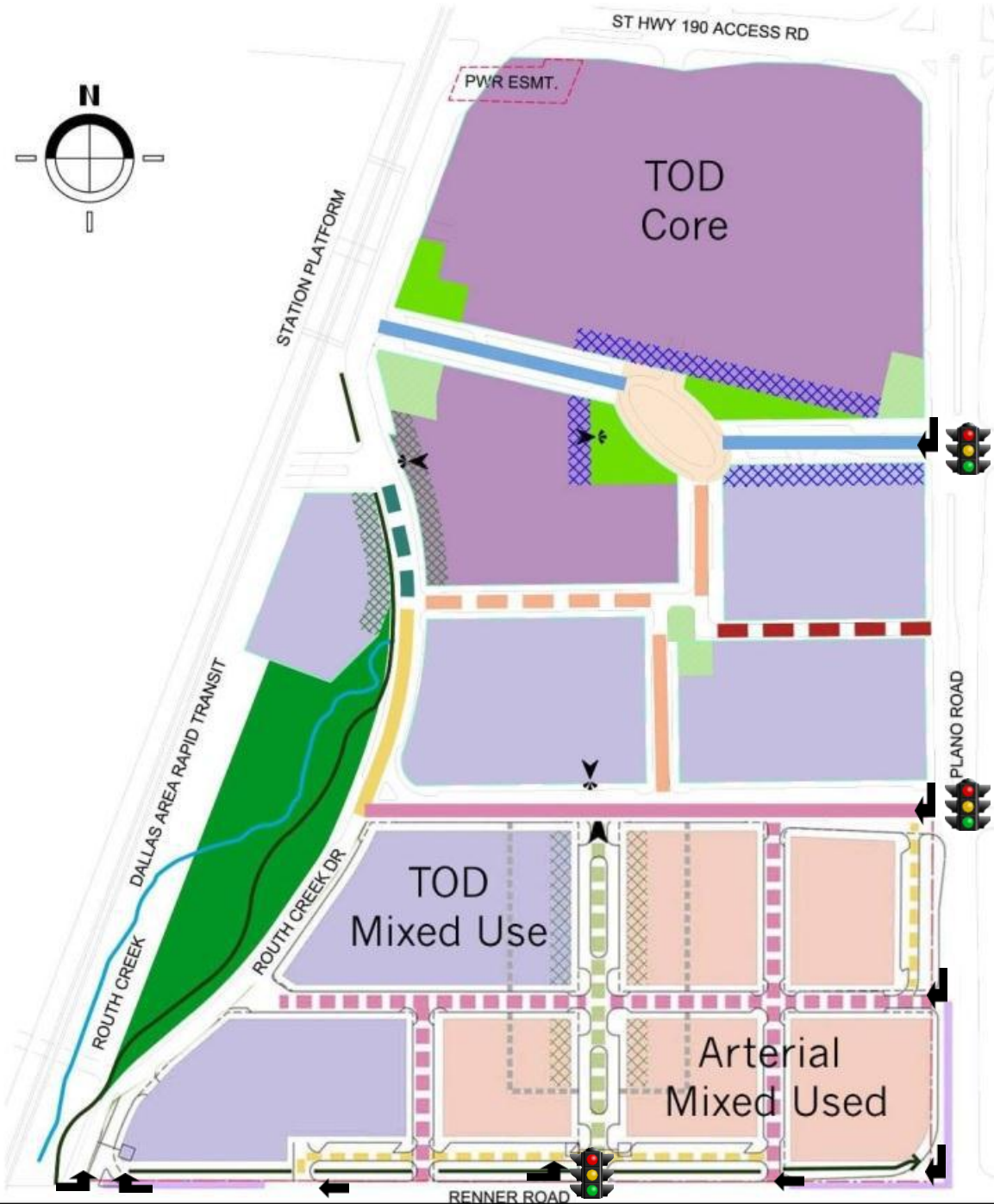
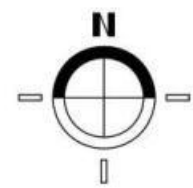
Other Arterial Traffic Counts for Comparison

Coit Road – 52,000

Campbell Road – 40,000

Arapaho Road – 37,000

Spring Valley – 38,000

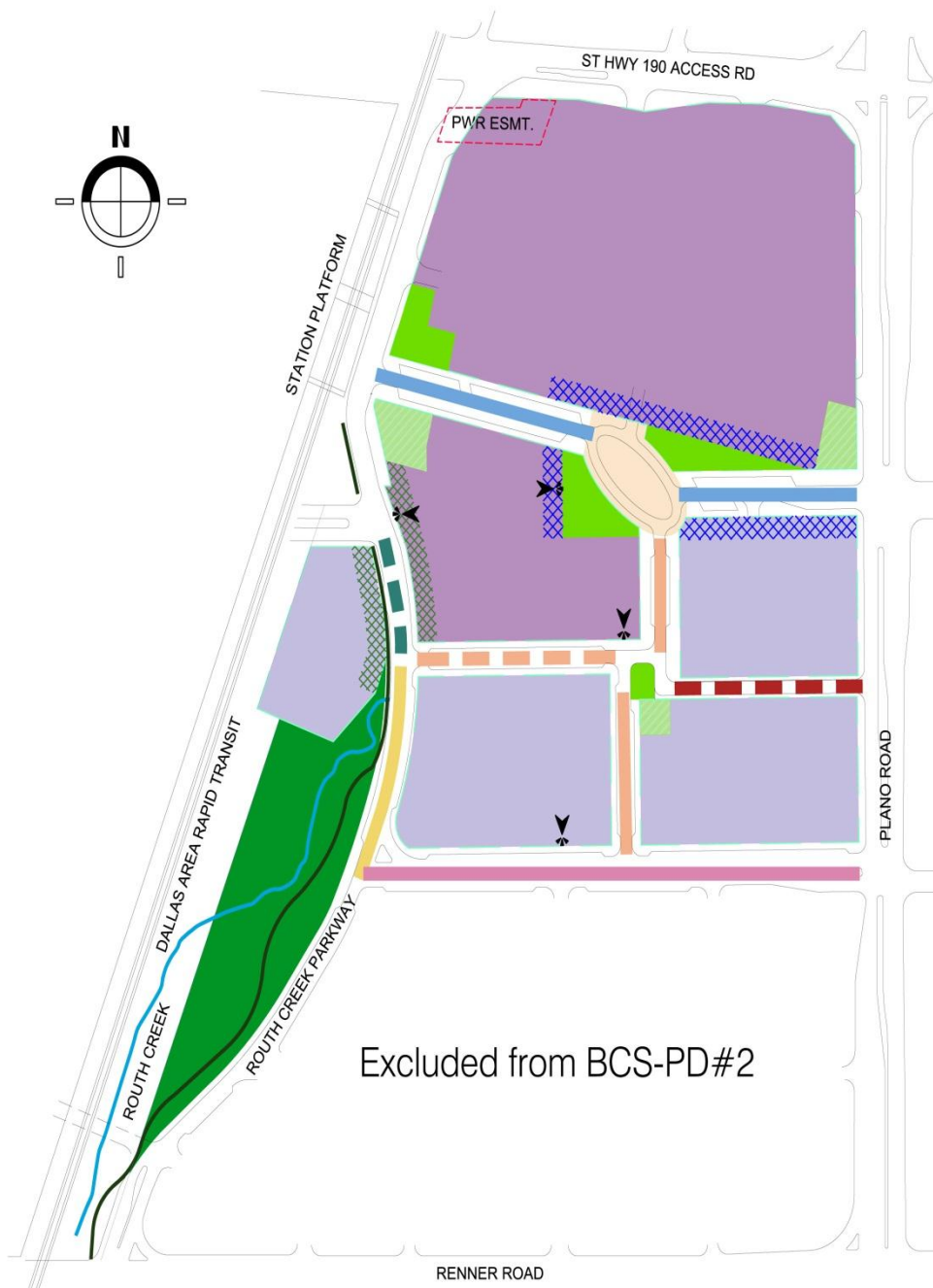
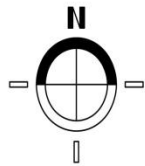


Renner Road:






















- WB Auxiliary Lane – Plano Rd to Routh Creek Pkwy
- Median Opening w/ Turn Lanes & Traffic Signal at Park Avenue
- EB Left Turn to Routh Creek Pkwy

Plano Road:

- SB Auxiliary w/ Right Turn Lanes – Bush Turnpike to Renner Road
- NB Left Turn Lanes & Traffic Signals at Main St. and Infocom Drive
- Improve RT Lane free-flow to Renner Road



Excluded from BCS-PD#2

LEGEND	
CHARACTER ZONES	
	TOD Core 14.83 Acres
	TOD Mixed Use 9.66 Acres
CIVIC / OPEN SPACE TYPES	
	Mandatory Plaza 0.7 Acres
	Mandatory Green or Square 1.10 Acres
	Mandatory Park 3.57 Acres
	Non-Mandatory Green or Square 0.54 Acres
SPECIAL FRONTAGE TYPES	
	Main Street Frontage
	Pedestrian Priority Frontage
STREET DESIGNATIONS	
	Street Type 1
	Street Type 3
	Street Type 5
	Solid line denotes Type 'A' Street
	Dashed line denotes Type 'B' Street
	Street Type 2
	Street Type 4
	Street Type 6
<p>Note: Plano Road, SH 190 Access Road and the Station Platform frontage shall be considered as Type 'B' Street frontages for the purposes of the Bush Central PD #2</p>	
OTHER	
	Approximate District Boundary
	Property Line
	Multi-Use Trail
	Existing Creek
	Terminated Vista

REGULATING PLAN - APPENDIX A-1

Bush Central Station

Planned Development Code #2

Exhibit C

Not to scale



Parking Structure with Cabling

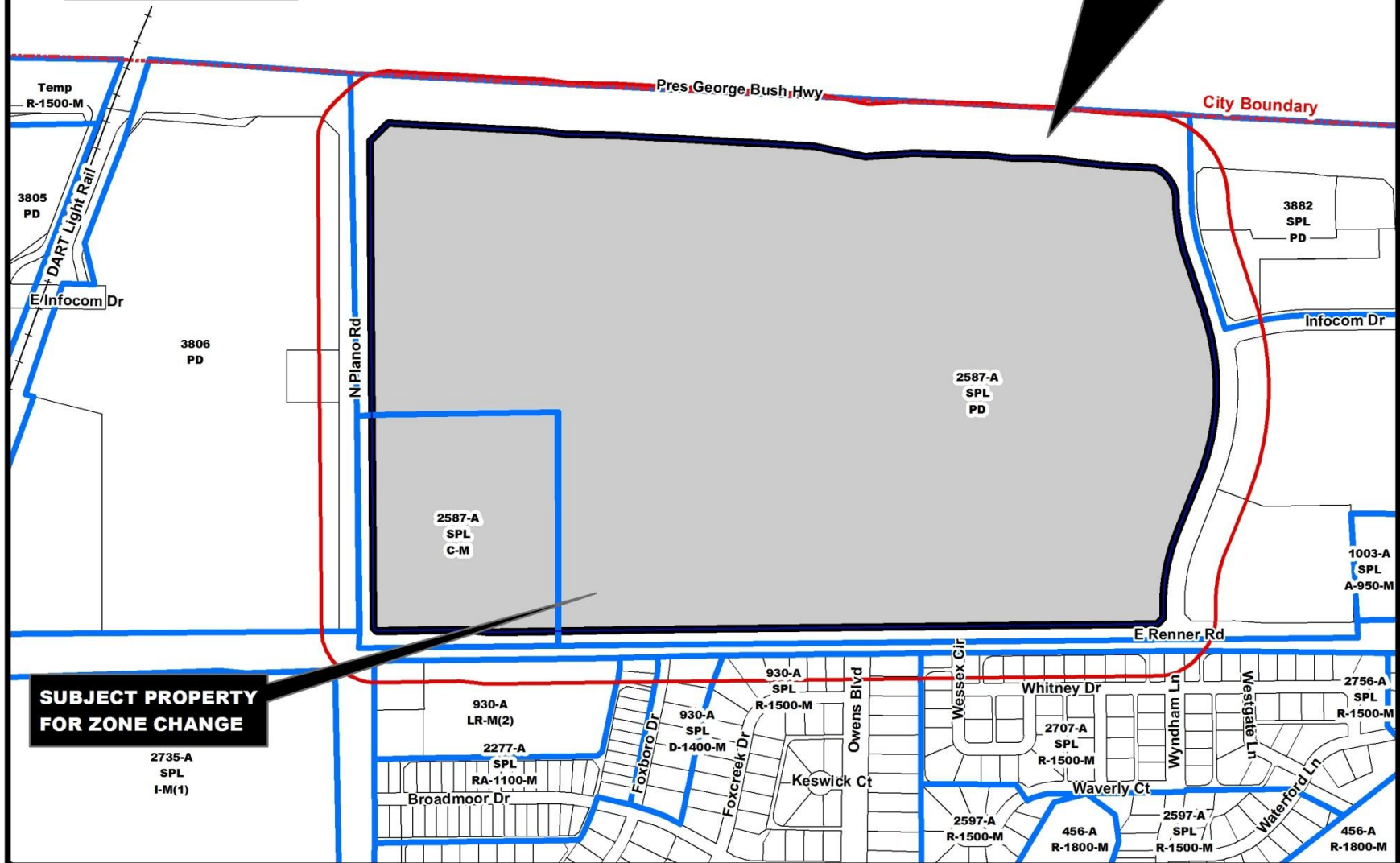


Parking Structures with Vertical and Horizontal Spandrels

ZF 12-20

ZF 12-20

200' Notification Boundary



SUBJECT PROPERTY FOR ZONE CHANGE

ZF 12-20 Notification Map

Updated By: shacklett, Update Date: November 13, 2012
File: DS\Mapping\Cases\Z\2012\ZF1220\ZF1220 notification.mxd

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ZF 12-20



**SUBJECT PROPERTY
FOR ZONE CHANGE**

ZF 12-20 Aerial Map

Updated By: shacklett. Update Date: November 13, 2012
File: DSIMapping\Cases\Z\2012\ZF1220\ZF1220 ortho.mxd

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Renner Rd

Owens Blvd

Wyndham Ln

Subject Property

Plano Rd

PGBT

City of Plano

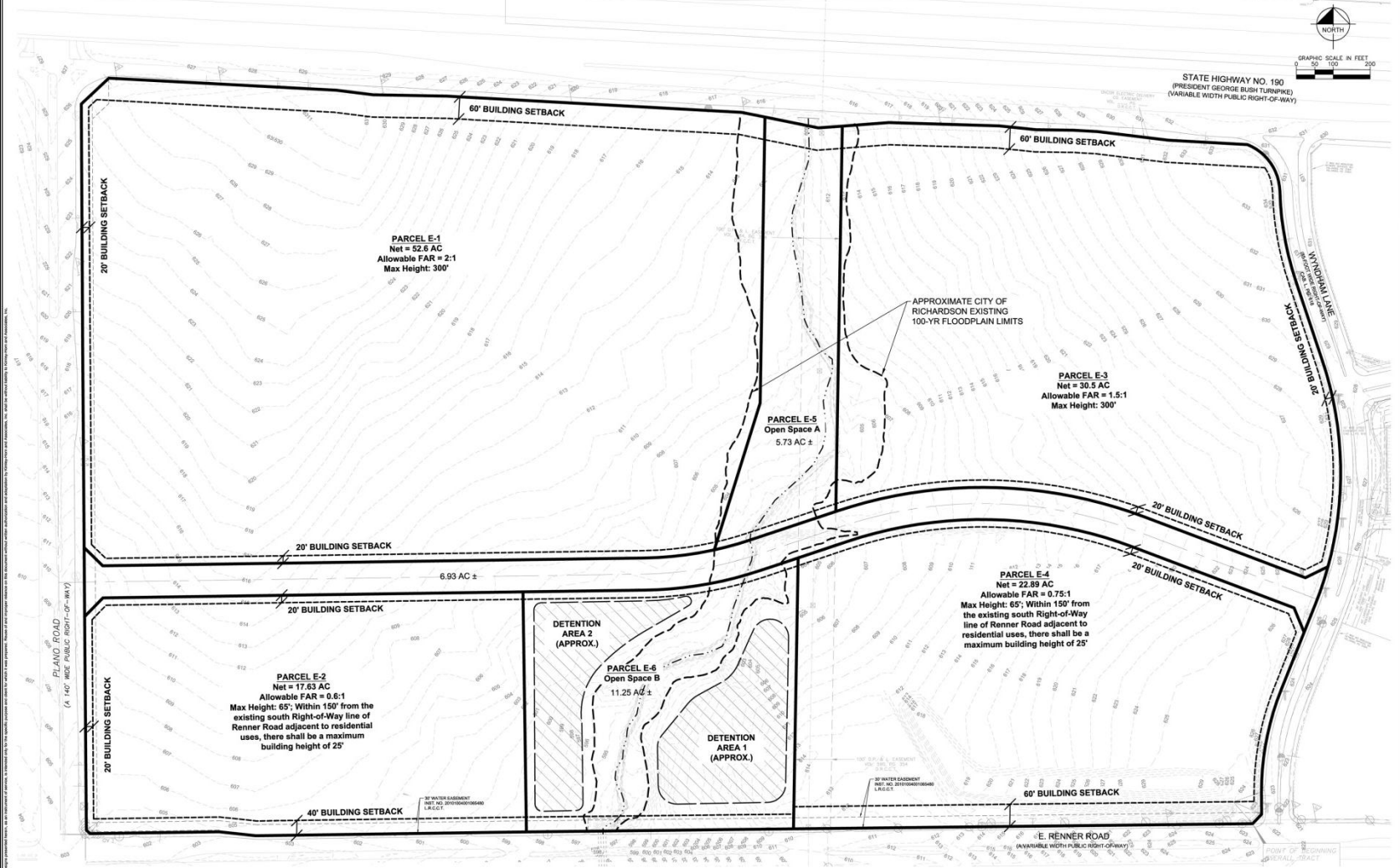
Oblique Aerial
Looking South

Current Zoning Entitlements

- **8,116,142 square feet of non-residential development**
- **Uses: office, retail, commercial, research, assembly/mfg., including service stations, heliports, & limited service hotels by right**
- **1,925 residential units (allowed throughout PD)**
- **Landscaping 15 % - 25% (depending on FAR)**
- **No required open space dedication**

Proposed Zoning Entitlements

- **7,783,975 square feet of non-residential development**
- **Uses: Generally the same, plus data centers and require Special Permits for service stations, limited service hotels & helipads**
- **1,925 residential units (limited to northwest quadrant)**
- **Landscaping 10%**
- **16.98 acres of dedicated open space area (detention area)**
- **New building cladding materials**



*OTHER SETBACKS APPLY PER PD ORDINANCE

NO.	REVISIONS	DATE

Kimley-Horn and Associates, Inc.
 1500 WEST BERRY STREET
 SUITE 200
 RICHARDSON, TEXAS 75081
 TEL: 972.642.1000
 FAX: 972.642.1001

PROJECT NO.	DATE
NO. 190-2013-03	08/20/13
DESIGNED BY	SCALE
CHKD BY	DATE
DATE	SCALE
DATE	SCALE

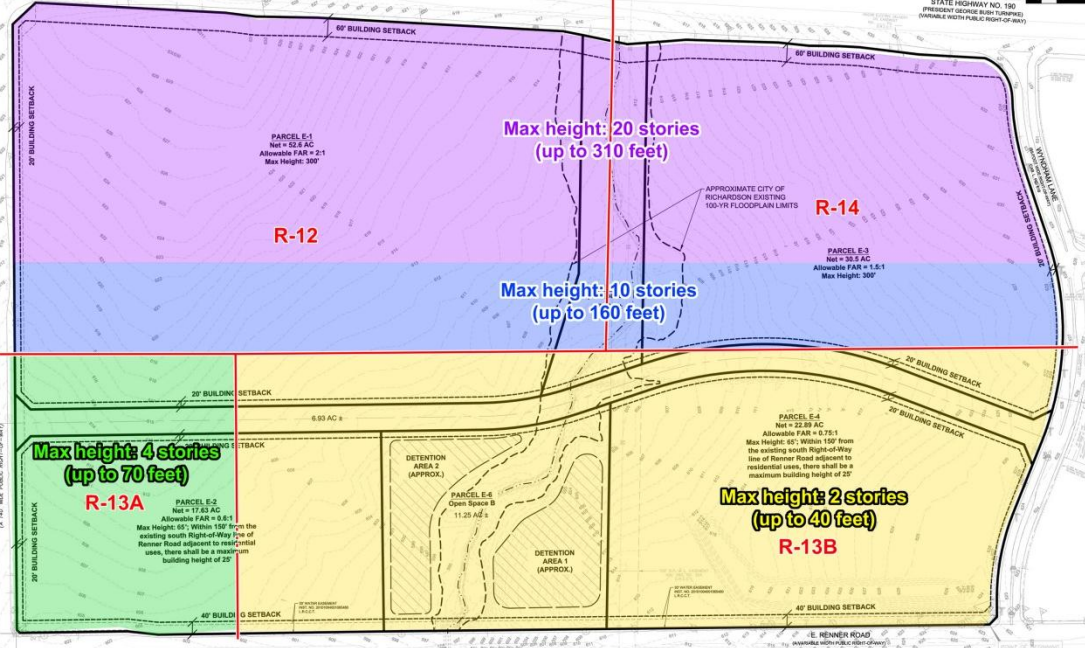
RICHARDSON, TEXAS

CONCEPT PLAN

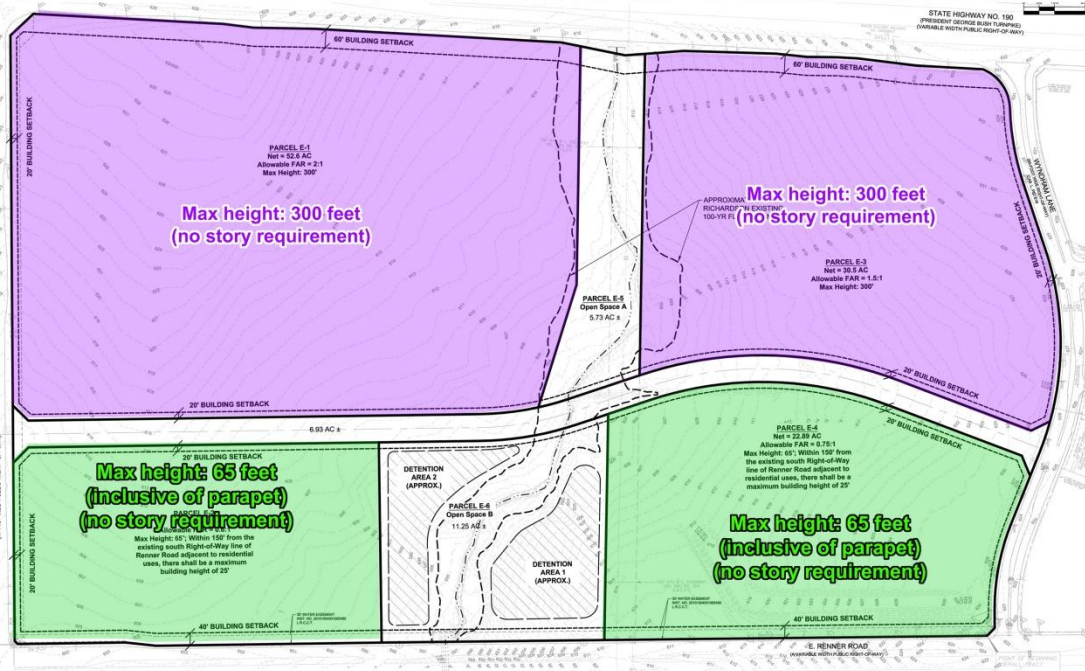
Exhibit B - Part of Ordinance

SHEET NUMBER
E-1.1

Concept Plan



Current Zoning Height Requirements



Proposed Zoning Height Requirements

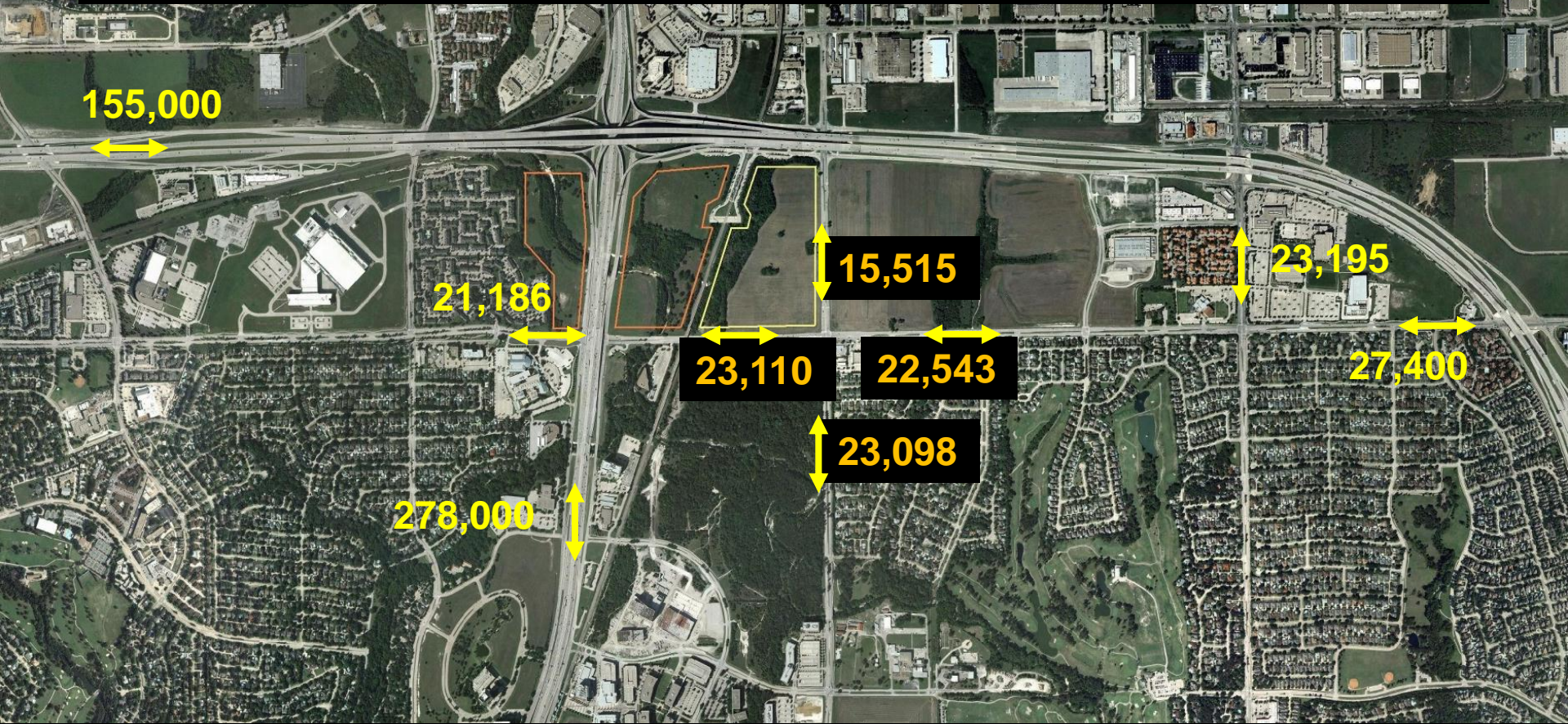
Current vs. Proposed Heights

- Examples of ventilated façade systems
 - Aluminum Composite Material (ACM)
 - Factory Insulated Metal Wall Systems
 - Architectural Zinc Cladding & Roofing Systems
 - Colorized, Patterned and Texturized Finishes
 - Vented Phenolic Rainscreen Wall Panel System



Building Materials

Daily Traffic Volume Counts (2012)



Other Arterial Traffic Counts for Comparison

Coit Road – 52,000

Campbell Road – 40,000

Arapaho Road – 37,000

Spring Valley – 38,000

PGBT



STATE HIGHWAY NO. 190
(PRESIDENT GEORGE BUSH TURNPIKE)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

Plano Rd.



PLANO ROAD
(A 140' WIDE PUBLIC RIGHT-OF-WAY)

Infocom Drive

Wyndham Lane

Renner Road

PARCEL E-1
Net = 52.6 AC
Allowable FAR = 2:1
Max Height: 300'

PARCEL E-3
Net = 30.5 AC
Allowable FAR = 1.5:1
Max Height: 300'

PARCEL E-5
Open Space A
5.73 AC ±

PARCEL E-2
Net = 17.63 AC
Allowable FAR = 0.6:1
Max Height: 65'; Within 150' from the existing south Right-of-Way line of Renner Road adjacent to residential uses, there shall be a maximum building height of 25'

PARCEL E-4
Net = 22.89 AC
Allowable FAR = 0.75:1
Max Height: 65'; Within 150' from the existing south Right-of-Way line of Renner Road adjacent to residential uses, there shall be a maximum building height of 25'

PARCEL E-6
Open Space B
11.25 AC ±

DETENTION AREA 2 (APPROX.)

DETENTION AREA 1 (APPROX.)

APPROXIMATE CITY OF RICHARDSON EXISTING 100-YR FLOODPLAIN LIMITS

30" WATER EXHAUSTMENT
NET NO. 30101040105640
L.R.C.C.T.

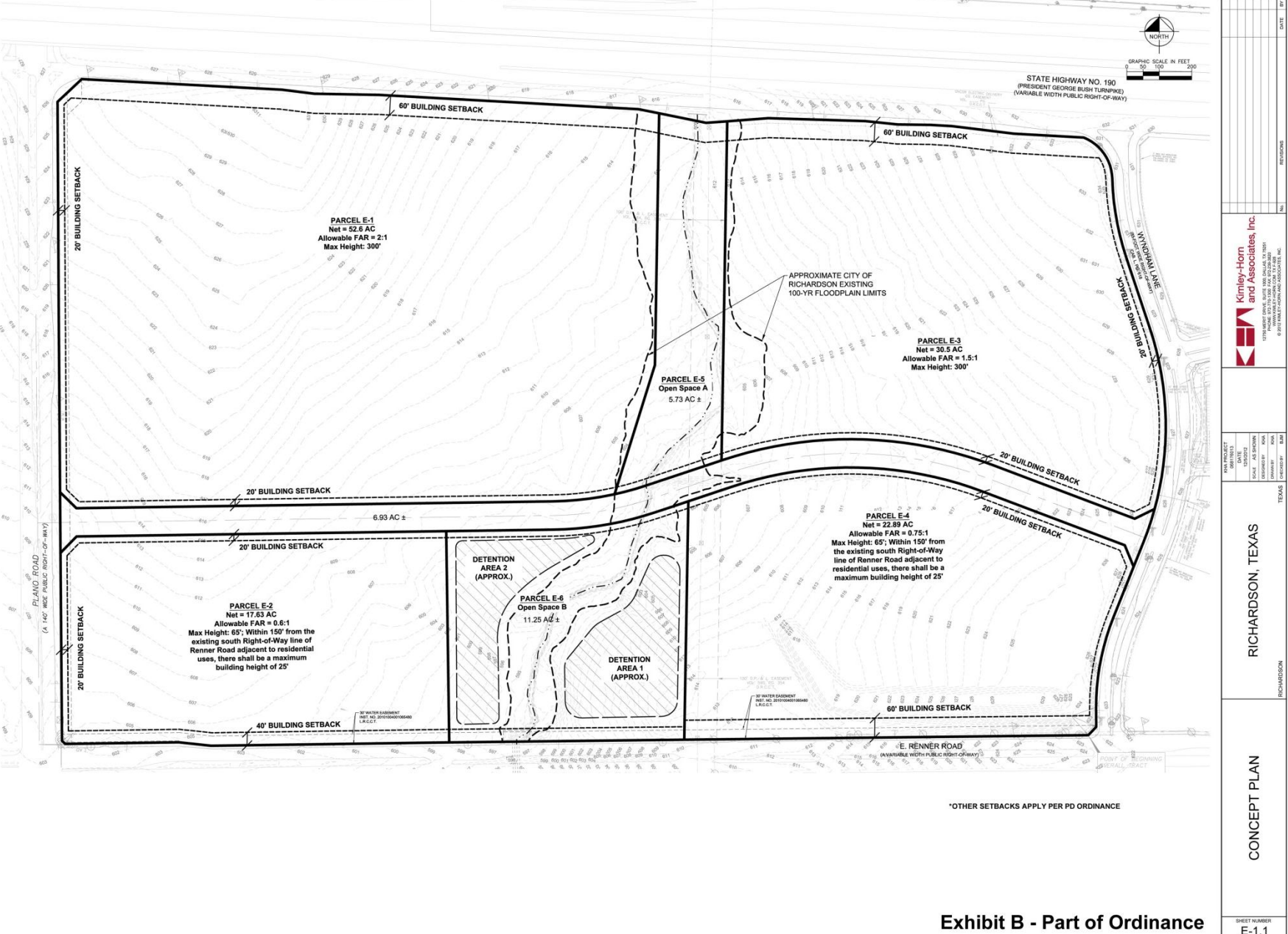
*OTHER SETBACKS APPLY PER PD ORDINANCE



Traffic Mitigation Plan

DATE: 07/2023	BY: [Signature]
REVISIONS:	
NO.	
Kimley-Horn and Associates, Inc.	
12720 RICHARDSON ROAD, SUITE 200 RICHARDSON, TEXAS 75081 PHONE: (972) 770-0000 FAX: (972) 770-1001 WWW.KIMLEY-HORN.COM © 2023 KIMLEY-HORN AND ASSOCIATES, INC.	
IANA PROJECT: 080110013	DATE: 07/2023
SCALE: AS SHOWN	NO. 11072012
DESIGNED BY: KVA	NO. 11072012
CHECKED BY: KVA	NO. 11072012
IN CHARGE: KVA	NO. 11072012
TECHNICAL: KVA	NO. 11072012
TEXAS: KVA	NO. 11072012
CHECKED BY: KVA	NO. 11072012
DATE: 07/2023	BY: [Signature]
RICHARDSON, TEXAS	
CONCEPT PLAN	

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PROJECT NO.	19011001	DATE	07/27/2011
PROJECT NAME	STATE HIGHWAY 190	DESIGNED BY	DAVID L. GIBSON
DRAWN BY	DAVID L. GIBSON	CHECKED BY	DAVID L. GIBSON
SCALE	AS SHOWN	DATE PLOTTED	07/27/2011
TEXAS			
RICHARDSON, TEXAS			
RICHARDSON			
CONCEPT PLAN			
SHEET NUMBER E-1.1			
Kimley-Horn and Associates, Inc.			
1200 WEST BERRY STREET, SUITE 300, DALLAS, TEXAS 75208 972.961.4400 FAX 972.961.4401 WWW.KIMLEY-HORN.COM			

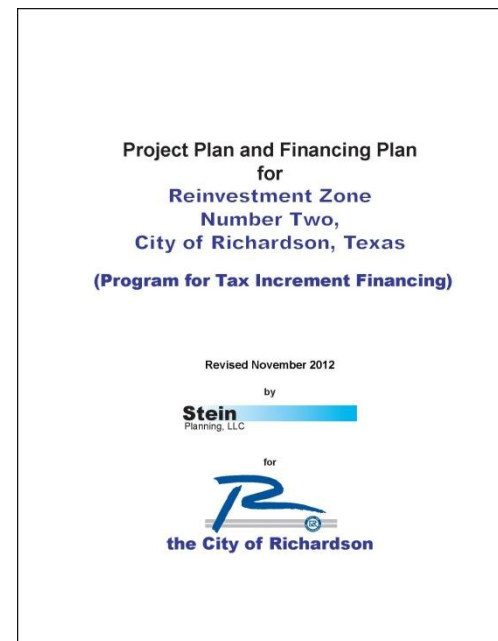
Exhibit B - Part of Ordinance

Concept Plan

Bush/75 Urban Center Development Infrastructure Support Strategy:

Public Hearing Background: Tax Increment Financing Reinvestment Zone 2 Project and Financing Plan

City of Richardson, Texas
City Council Meeting
December 10, 2012



Background: TIF Zone 2

- Prior City Council Actions for Zone 2:
 - November 2011 Action Approved:
 - Ordinance Creating TIF Zone 2
 - Adopted Preliminary Project and Financing Plan
 - Tax Increment Financing met need to provide structured support
 - Preliminary Project and Financing Plan
 - Linkage with Council Goals
 - Estimated Needed Infrastructure & Public Facilities
 - Addressed Possible Development Impact
 - Met State Law Requirements
 - Next Step of Preparation for TIF
 - Final Project & Financing Plan



Background: 211 acres at Bush/190 at U.S.75



TIF Zone #2 Aerial Map

Updated By: shacklett, Update Date: August 16, 2011
File: DS\Mapping\Staff\CMO\TIF District\TIF Zone #2 Aerial.mxd



Background:

Infrastructure Elements

- Preliminary Plan
Developed a master list of possible participation elements
- Timing/phasing
- Incorporated possible Grant funding
 - Currently \$14.4 million in Grant support

Required Project Elements

Road Network and related street/traffic appurtenances

Drainage Systems

Transit Support Improvements

Utility Extensions

ROW and Easements

Parking Facilities

Parks, Open Space and Plazas

Trail Network

Background:

Use of TIF Rationale for Support

- Stimulate **Quicker** Development Schedule
- Focus on Early Infrastructure Support to Allow **Financial Viability**
- Set Strong **Development Tone**
- **Structured** Public Participation Support
- Avoid Future G.O. **Bond Program Impact**
- **Advance the Cotton Belt Rail** development schedule & Bush Station selection
- Contract as **Reimbursement-based** Funding
 - Developer Secured and Fronted Capital
 - Risk remains with Developer for Reimbursement
- Places **risk** of development pace for repayment **with developer**

TIF #2 Development Updates

**Project Plan and Financing Plan
for
Reinvestment Zone
Number Two,
City of Richardson, Texas
(Program for Tax Increment Financing)**

Revised November 2012

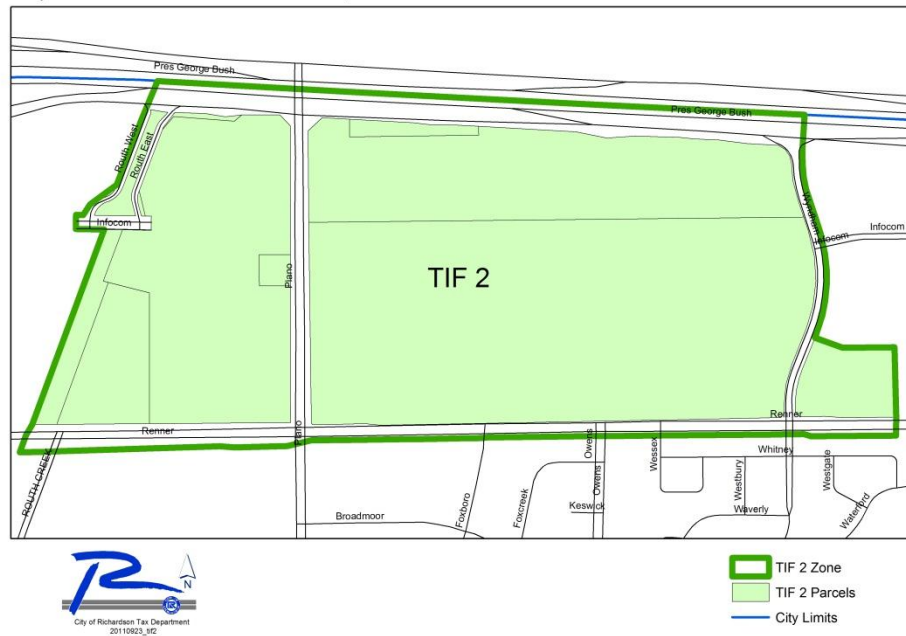
by

Stein
Planning, LLC

for

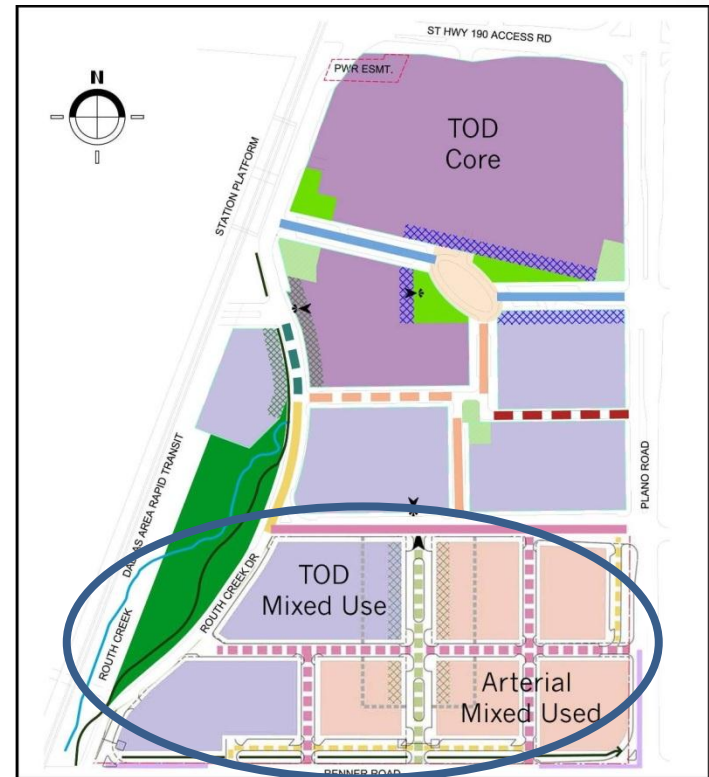

the City of Richardson

City of Richardson - TIF Zone 2 - Bush/75 Partners



Development Update

- Southern edge of development for area west of Plano Road continuing as planned:
 - 800 unit multifamily development
 - Retail ready on the bottom floor
 - Structured parking
 - Planned streetscape amenities
 - Zale Corson Group expected to begin:
 - 1st phase (450 units) in 2013 along Renner Road.
 - 2nd phase north of 1st phase (estimated completion by 2016)



Development Update



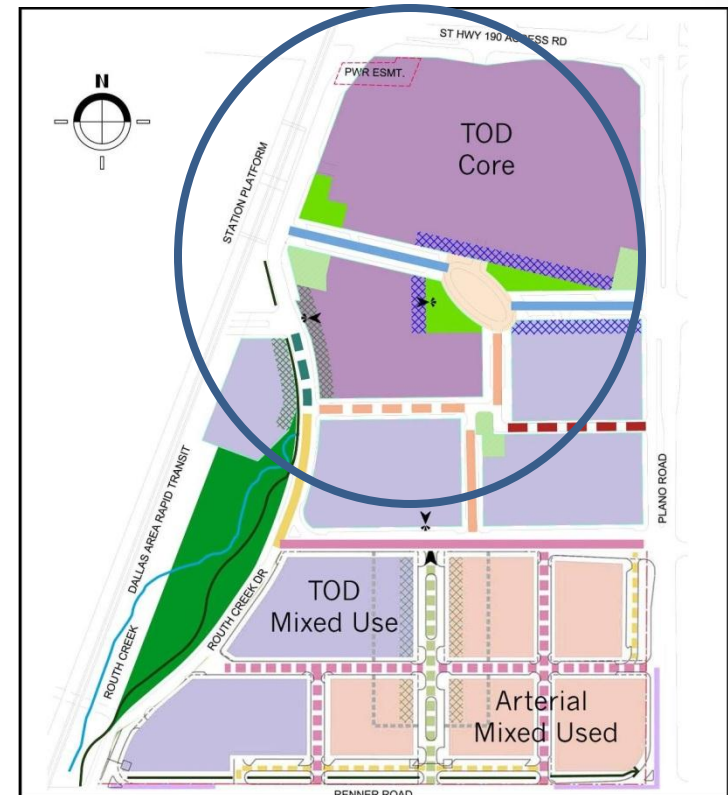
■ Leading National Provider of Corporate Real Estate Solutions

- 30 Million Sq. Ft. of Corporate BTS
- Over 100 Projects in 26 States
- \$3.7 Billion in Projects



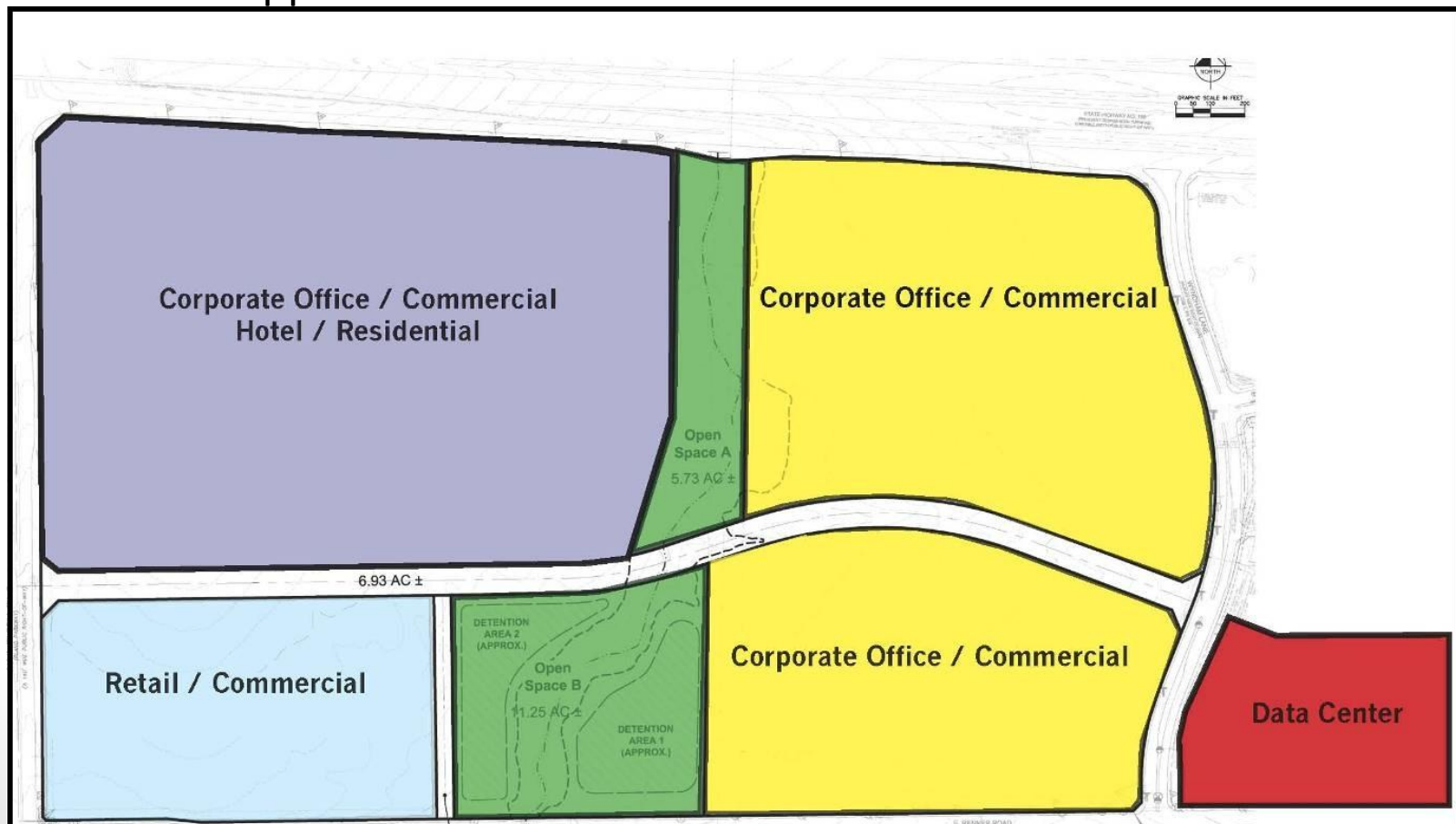
Development Update

- Active development proposal currently under consideration for the remaining portion of the area west of Plano Road.
- The proposed development includes:
 - Significant new corporate campus (1.5 million sf)
 - Other Campuses:
 - Blue Cross (1.05 million sf)
 - Cisco (1.0 million sf)
 - Galatyn Campus (848,592 sf)
 - Retail at the TOD core (100,000 sf)
 - Medical Office (50,000 sf)
 - Limited service hotel
 - Same multi-family entitlement
 - 1,200 units
 - Sustained open space
 - Public plazas
 - Trail Park



Development Update: East of Plano Road Plan

- Developer has proposed updated zoning plans and road alignments
 - CPC approved on December 4



Updated Project Plan and Financing Plan

- Prepared for City by Stein Planning LLC, Mark Stein
- Project Plan and Financing Plans for TIF #2
- Report Features:
 - Narrative of TIF method & features
 - Key development scenario timetable and taxable values
 - Key infrastructure elements and timetable for implementation
 - Zone map graphics
 - Likely taxable revenue generation and allocations for TIF Zone and participating taxing entities
 - Compliant with Texas Tax Code Chapter 311 for TIF preparation

Stein
Planning, LLC

Project Plan and Financing Plan
for
Reinvestment Zone
Number Two,
City of Richardson, Texas
(Program for Tax Increment Financing)

Revised November 2012

by

Stein
Planning, LLC

for


the City of Richardson

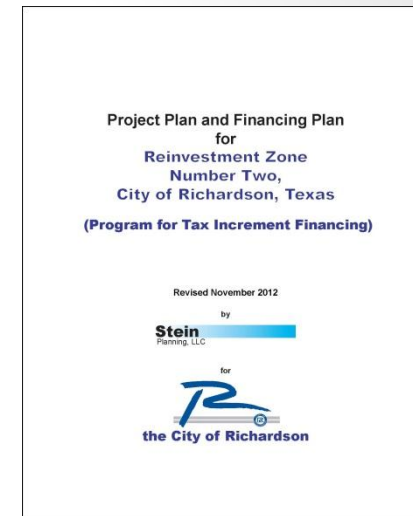
Base Features in TIF #2

- **2011 as Base Tax Year**
- 25-year TIRZ
- Real Property Tax Only – Not Business Personal Property Tax or Sales Tax or Hotel/Motel Tax
- City of Richardson Real Property Tax Rate Participation:
 - 2/3 of Property Tax Rate
 - (for 2012 – 2/3 of \$0.63516 = (0.42346))
- Collin County Real Property Tax Rate Participation (proposed):
 - 1/2 of Property Tax Rate
 - (for 2012 – 1/2 of \$0.2400 = \$0.1200)

	City	Collin Co.
For TIF	67% \$0.42346	50% \$0.1200
For General Fund <i>(during TIF)</i>	33% \$0.2117	50% \$0.1200
Total	100% \$0.63516	100% \$0.2400

TIF #2

Plan Highlights



- **Schedule 1**

- About 211 acres
- Base Year Market Value of \$25.5 million in 2011
- Initially, entire area received Agricultural Exemption
- City Taxable Value in 2011 was \$37,485

- **Schedule 2**

- 8.0 million sf of planned development (\$1.075 billion in estimated market value)

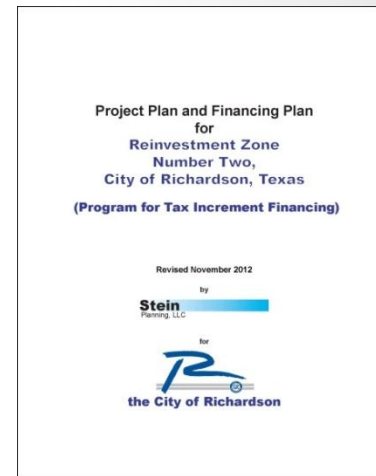
- **Schedule 5**

- City Total Taxable Value for 2012 is \$16,008,894 – will generate \$67,788 in taxes to the TIF (partial Stream development)
- City Total Taxable Value for 2013 is estimated at \$30,518,476 (Stream development completed)
- City Taxable Value for 2036 (final year of TIF) is estimated at \$1.467 billion

TIF #2

Plan Highlights

- **Schedule 4**
 - Schedule of TIF Costs (\$ in thousands)



	TIF Costs	Non-project Costs	Total Costs
Road Network - Land Acquisition Costs	\$18,315	\$0	\$18,315
Improvements West of Plano Rd	\$23,257	\$8,831	\$32,088
Improvements East of Plano Rd	\$34,764	\$5,577	\$40,341
Subtotal Infrastructure Costs	\$76,336	\$14,408	\$90,744
TIF Admin. Costs	\$1,152	\$0	\$1,152
Subtotal Before Financing Costs	\$77,488	\$14,408	\$91,896
Financing Costs	\$40,545	\$0	\$40,545
Total TIF Costs	\$118,033	\$14,408	\$132,441

- Non-project costs are state and/or federal grant funds

TIF #2

Plan Highlights

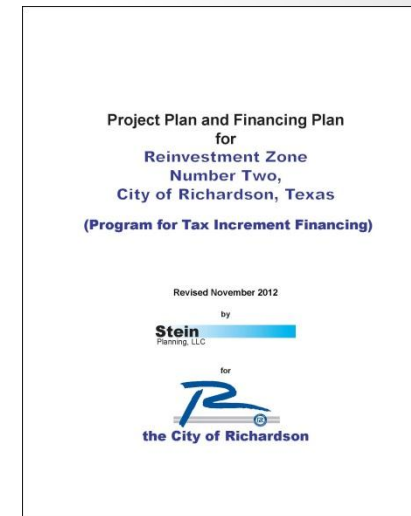
- **Schedule 7**

- Total Revenue to TIF Fund (in millions)

Sources	Amount
City of Richardson (66.67%)	\$106
Collin County (50%)	\$30
Total	\$136

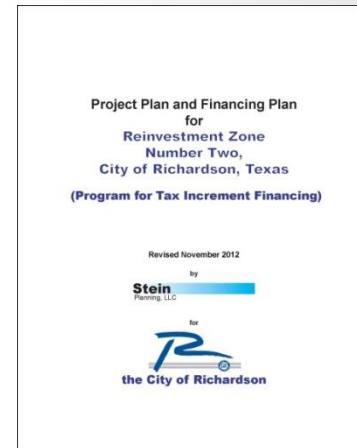
- Total Revenue to TIF Fund w/Cotton Belt (in millions)

Sources	Amount
Available to Developers – City (55%)	\$88
Available to Developers – County (50%)	\$30
Potential Cotton Belt – City (11.67%)	\$18
Total	\$136



TIF #2

Plan Highlights



- **Schedule 10**
 - Total Revenue Retained by City (in millions)

Sources	Amount
Property Tax – Real	\$101
Property Tax – BPP	\$22
Sales Tax	\$26
Total (Yrs 1-30)	\$149

- Does not include estimate of additional utility franchise taxes generated by development or hotel occupancy tax generated from hotels

TIF Board Actions & Next Step

- November 28, 2012 TIF Board Actions:
 - Approved the Project and Financing Plan for TIF Reinvestment Zone Number Two
- Upon favorable and unanimous approval, the TIF Board forwarded the Project Plan to the City Council for Review and Consideration
- Next Steps
 - Public Hearing and Consideration by City Council
 - *Collin County Review & Consideration*



Heights Small Neighborhood Park - Naming

City Council Work Session

December 10, 2012



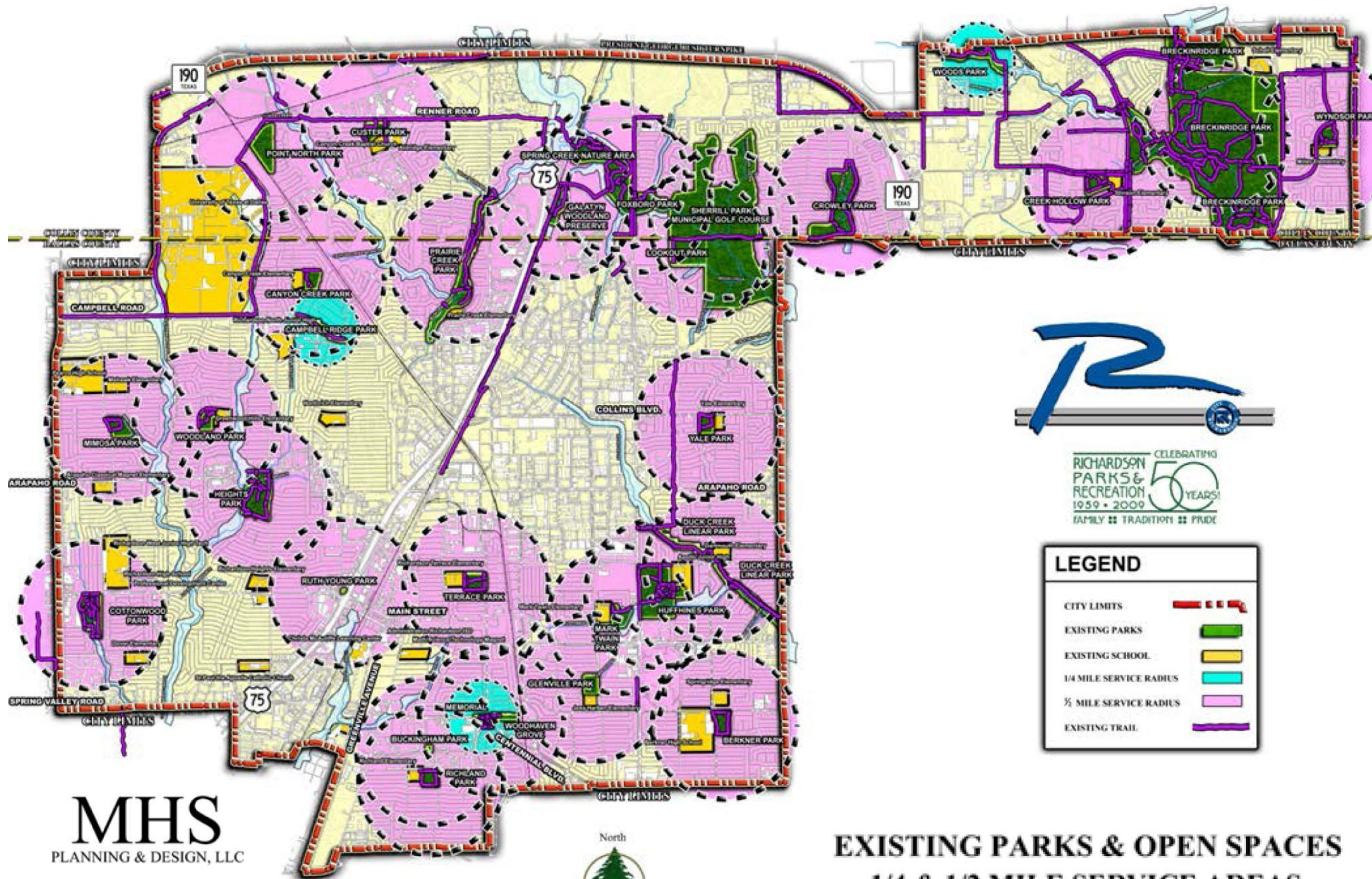
studio**Outside**

CONTEXT



1950's

PROJECT HISTORY



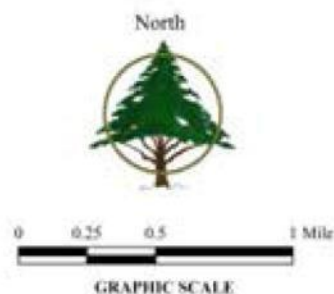
CELEBRATING
RICHARDSON
PARKS & RECREATION
 1959 • 2009
 FAMILY • TRADITION • PRIDE

LEGEND	
CITY LIMITS	
EXISTING PARKS	
EXISTING SCHOOL	
1/4 MILE SERVICE RADIUS	
1/2 MILE SERVICE RADIUS	
EXISTING TRAIL	

MHS
 PLANNING & DESIGN, LLC

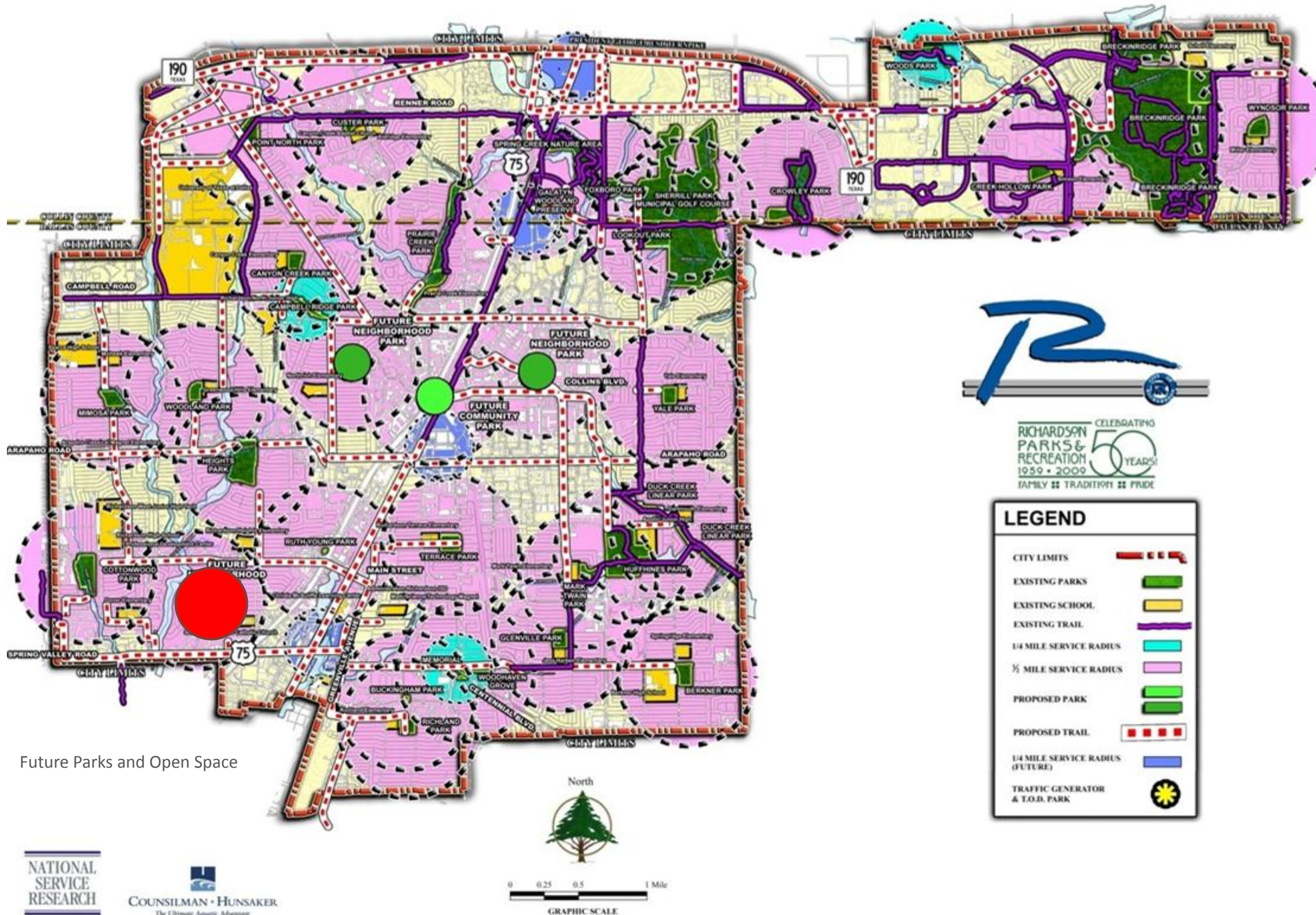
NATIONAL
 SERVICE
 RESEARCH
 MARKET RESEARCH

COUNSLMAN • HUNSAKER
 The Ultimate Aquatic Advantage



EXISTING PARKS & OPEN SPACES
1/4 & 1/2 MILE SERVICE AREAS
CITY OF RICHARDSON
COLLIN & DALLAS COUNTIES, TEXAS

PROJECT HISTORY



CELEBRATING
RICHARDSON
PARKS & RECREATION
 1959 • 2009
 FAMILY • TRADITION • PRIDE

LEGEND	
CITY LIMITS	
EXISTING PARKS	
EXISTING SCHOOL	
EXISTING TRAIL	
1/4 MILE SERVICE RADIUS	
1/2 MILE SERVICE RADIUS	
PROPOSED PARK	
PROPOSED TRAIL	
1/4 MILE SERVICE RADIUS (FUTURE)	
TRAFFIC GENERATOR & T.O.D. PARK	

Future Parks and Open Space

PROJECT HISTORY

2010

- City Parks System Master Plan Completed

2010

- Bond Allocates Funds for Neighborhood Park

November 2010

- Public Meeting
 - End of Block Concept Explored & Confirmed
 - Interior of Neighborhood Explored & Confirmed
 - Park Program Explored & Confirmed

April 2011

- Public Meeting
 - Concept Refinement for End of Block
 - Begin Search for Appropriate Land Acquisition

Fall 2011

- Land Acquisition Completed

Spring 2012

- Site Survey
- Design Update & Budget Confirmation
- Community Input – Public Meeting
- Park and Recreation Commission Presentation



CONTEXT



2009 Aerial

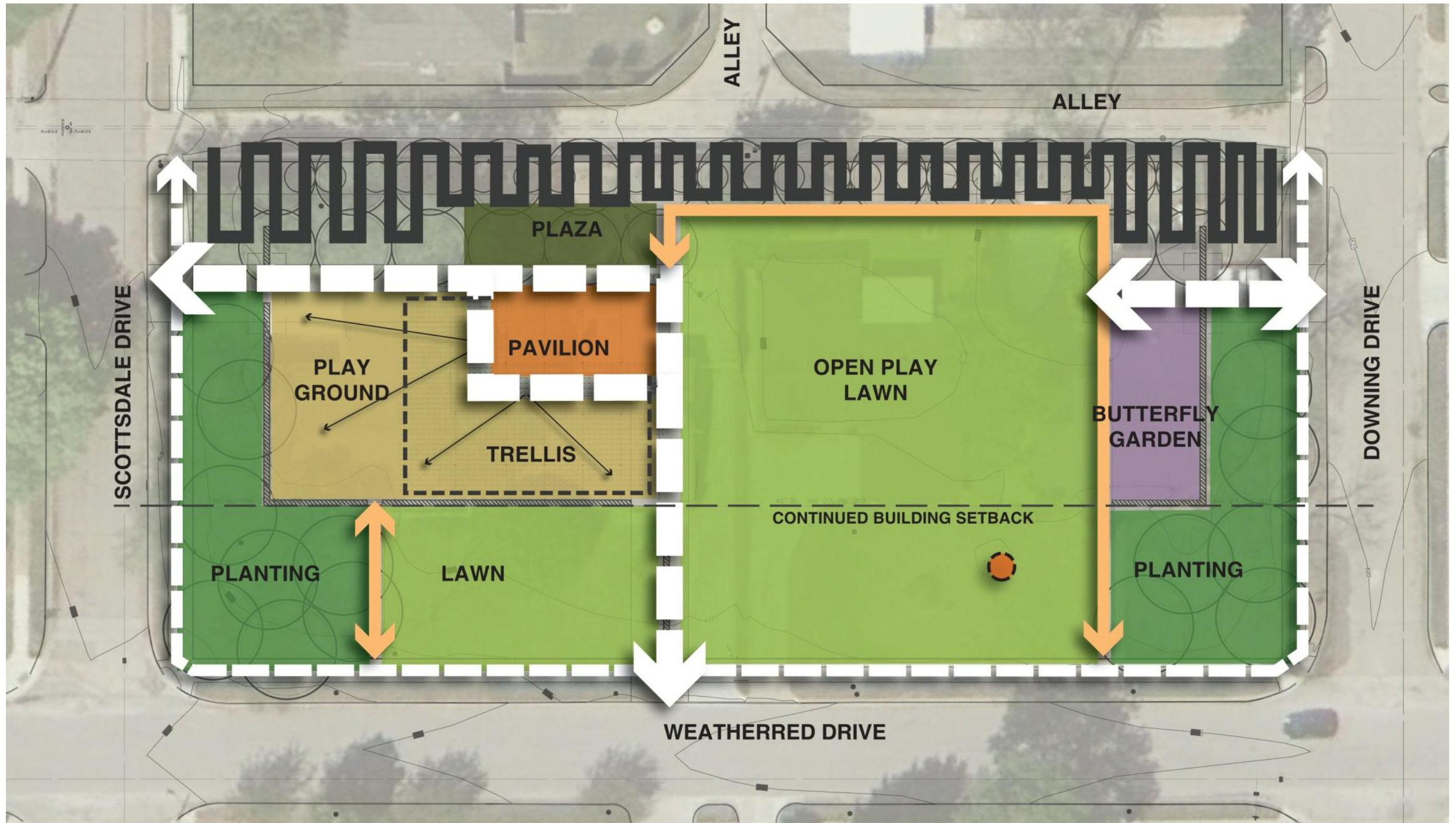
CONTEXT



Property closed October 28, 2011



CONCEPT / PROGRAM



CONCEPT AESTHETIC



HARDSCAPE

PLANTING

PAVILION CONCEPT



CONCEPT



CURRENT PROPOSED MASTER PLAN



Legend

- | | | | | |
|---------------------------------------|---------------------------------|----------------------------|-----------------------------------|------------------------------|
| A. Pavilion (24' x 48') 1,150 Sq. Ft. | F. Limestone Signage Wall | K. Limestone Bench | P. Preserved Tree Canopy | U. Native Ornamental Grasses |
| B. Brick - Heritage Columns (5) | G. Butterfly Garden | L. Brick Curb | Q. Wildflower Planting (Seasonal) | V. Artwork (Future) |
| C. (2-5) Playground | H. St. Augustine Corners | M. Colored Finish Concrete | R. Bench | |
| D. (5-12) Playground | I. The Grove | N. Mulch Area | S. New Curb Ramps | |
| E. Play Lawn (100' x 115') | J. Alley Fence With Vine Screen | O. Perimeter Sidewalk - 8' | T. Decomposed Granite Trail | |

SITE PLAN

Project Schedule Update

- Project subject to award, Cooper General Contractors, Inc., tonight at City Council meeting.
- Project is on budget \$580,000
- Contractor will begin salvage and asbestos abatement as soon as he can mobilize.
- Contract is for 120 calendar days, anticipated completion for the project is May 2013 weather pending.

Legend

A. Pavilion (24' x 48') 1,150 Sq. Ft.
B. Brick - Heritage Columns (5)
C. (2-5) Playground
D. (5-12) Playground
E. Play Lawn (100' x 115')

F. Limestone Signage Wall
G. Butterfly Garden
H. St. Augustine Corners
I. The Grove
J. Alley Fence With Vine Screen

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M. Colored Finish Concrete
N. Mulch Area
O. Perimeter Sidewalk - 8'

P. Preserved Tree Canopy
Q. Wildflower Planting (Seasonal)
R. Bench
S. New Curb Ramps
T. Decomposed Granite Trail

U. Native Ornamental Grasses
V. Artwork (Future)

SITE PLAN

Park and Recreation Commission

Discussion of the Park Name

At the Special Meeting called June 5, 2012, the Park and Recreation Commission considered the following names for the new park:

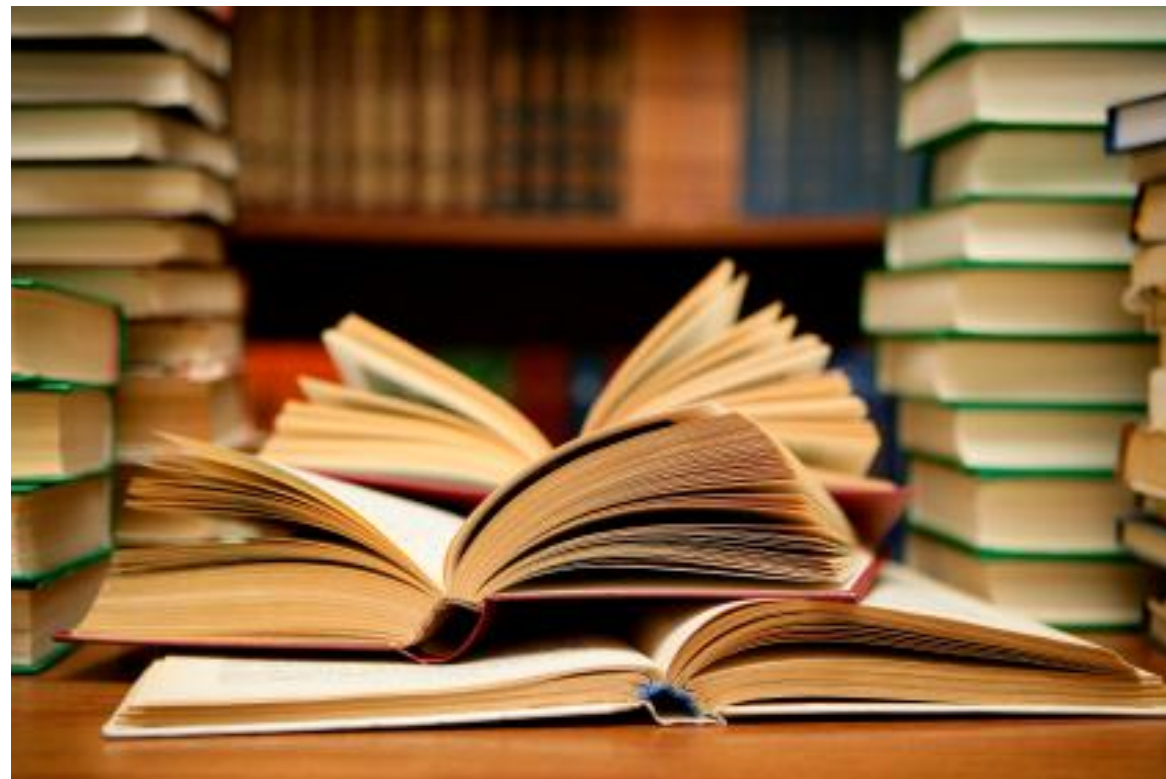
- Mariposa Park, Heritage Park, Kilby Park and Scottsdale Park.

There was not a clear consensus on the recommended name of the park and the action was tabled for further discussion.



Additional Research

- Staff has researched in detail the history of the site for the park.
- Research as far back as pre-settlement Richardson and concluded with modern day development.



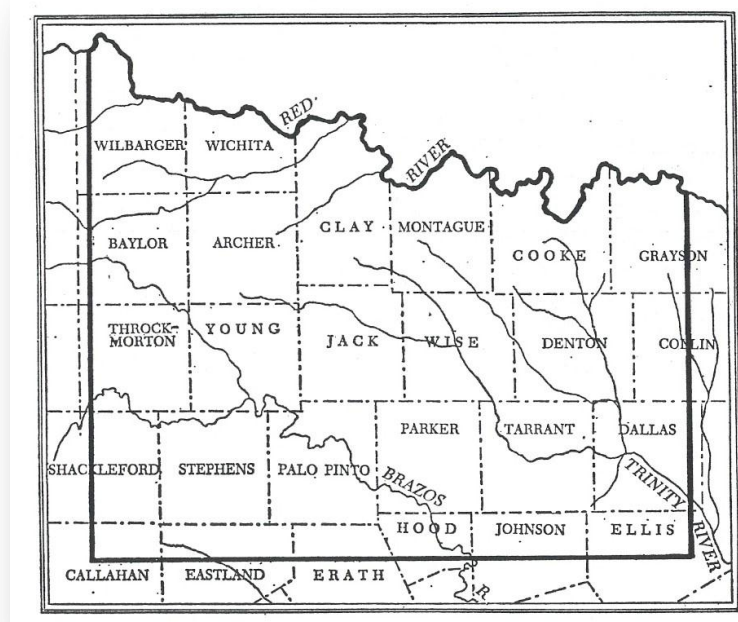
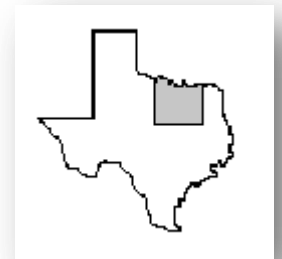
Yoiuane Tribe - Caddo Indians

- Lived in the area that would become Richardson from 1690 to 1840
- Hunted buffalo and deer on the blackland prairie,.



Peters Colony

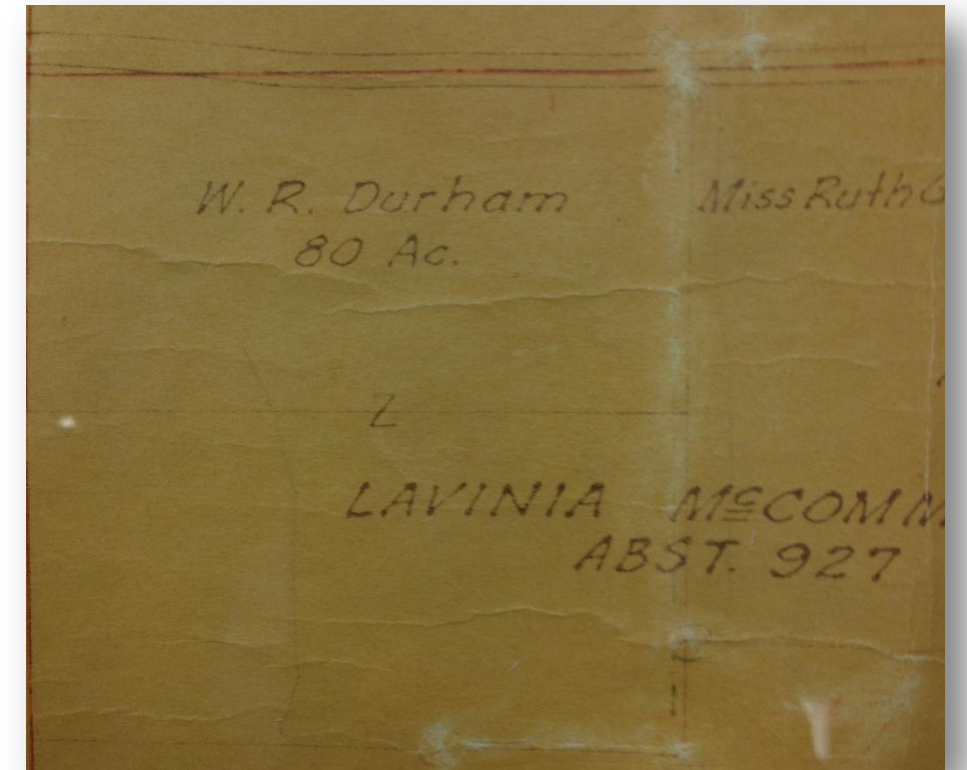
- Peters Colony was the land grant that settled North Texas
 - **PETERS COLONY.** *Peters (Peters') colony was the name commonly applied to a North Texas empresario grant made in 1841 by the Republic of Texas to twenty American and English investors led by William S. Peters, an English musician and businessman who immigrated to the United States in 1827 and settled in Blairsville and then Pittsburgh, Pennsylvania.*
- Thomas A. Skiles and Wife Pricilla—
 - 1855 Moved to the area from Kentucky with the Huffhines family.
 - Bought 480 acres including the property where the Richardson Small Neighborhood Park is situated
 - 1866 Built his residence on the farm house at 813 West Belt Line Road
 - 1910 died, and the farm was sold to W.R. Durham- Skiles' farm hand.



W.R. Durham

W.R. (Will) Durham

- 1910 Operated the farm had 10 children with his wife Martha
- 1954 Will Durham died and daughters Jessie and Cora Durham inherited the house on Belt Line Road.
 - Floyd Durham (W.R.'s son) was the first Scout Master
 - Jessie Durham owned and operated the Cash Dry Goods Store on Main Street where she started the first library in Richardson in the back of her store.
- The Durham's sold the land, save one acre, to a developer in 1954.
 - 1950 Richardson's Population was 700.
 - 1960 Richardson's Population was 38,000.



—Echo Staff Photo
...TING JOB DONE!—When a community works together, ... result. Pictured is a portion of the book parade last ... when Boy Scouts, Girl Scouts, Camp Fire Girls and ... ed to help move books into the new Library at 301 East T



Weathered Farm 1947



Heights Subdivision Developers

In 1954 Developers George M. Underwood, Jr. and James Lindsay Embrey said the following:

“We figured on a shopping center and 299 lots, and estimated it would take five years for it to all build up. But an ad in the Dallas News and a sign at Belt Line Road sold all the lots the first Sunday.”





Jan. 7, 1964 Aerial



At the November 13, 2012 regular Commission meeting, the Park and Recreation Commission recommended for City Council consideration the following names of the small park in the Richardson Heights Subdivision:

W.R. Durham Park

Jessie Durham Park

Next Steps

- City Council to discuss and consider names for the future park at the 400 block of Weathered Drive, and pass a resolution naming and dedicated the park at an upcoming City Council meeting.