



**City of Richardson
City Plan Commission
Agenda Packet
Tuesday, January 17, 2017**

To advance to the background material for each item in the agenda, click on the item title in the agenda or click on Bookmarks in the tool bar on the left side of your screen.

AGENDA
CITY OF RICHARDSON - CITY PLAN COMMISSION
JANUARY 17, 2017, 7:00 P.M.
CIVIC CENTER – COUNCIL CHAMBERS
411 W. ARAPAHO ROAD

BRIEFING SESSION: 6:30 P.M. Prior to the regular business meeting, the City Plan Commission will meet with staff in the East Conference room located on the first floor to receive a briefing on:

- A. Discussion of Regular Agenda items**
 - B. Staff Report on pending development, zoning permits, and planning matters.**
-

REGULAR BUSINESS MEETING: 7:00 P.M. - COUNCIL CHAMBERS

MINUTES

1. **Approval of minutes of the regular business meeting of January 3, 2017.**

CONSENT ITEMS

All items listed under the Consent Agenda are considered to be routine by the City Plan Commission and will be enacted by one motion in the form listed below. There will be no separate discussion of these items unless desired, in which case any item(s) may be removed from the Consent Agenda for separate consideration.

2. **Development Plans – El Pollo Loco:** A request for approval of a final plat, site plan, landscape plan and building elevations for a 2,660-square foot restaurant with drive-through service. The 0.643-acre site is located at 1400 E. Belt Line Road, the southeast corner of Belt Line Road and Plano Road. Applicant: Matt Moore, Claymoore Engineering, Inc, representing ZPV Corporation. *Staff: Chris Shacklett.*
3. **Final Plat – Routh Woods Addition:** A request for approval of a final plat for Lot 1, Block A of the Routh Woods Addition to create a 17.2-acre lot located at 2710 Routh Creek Parkway, at the northeast corner of Routh Creek Parkway and Glenville Drive. Applicant: Joe Fraccaro, Kimley-Horn, representing JRG LHC, LLC. *Staff: Chris Shacklett.*

PUBLIC HEARINGS

4. **Replat – Eastside Addition Phase II:** Consider and take the necessary action on a request for approval of a replat of Lot 1A, Block A to subdivide one (1) existing lot into two (2) lots to accommodate the sale of an approximately 9,200-square foot lot. The 5.03-acre site is located at 1705 Greenville Avenue, west side of Greenville Avenue, north of Alma Road. Applicant: James Dobbie, representing Richardson Alma LLC. *Staff: Dan Tracy.*

ADJOURN

I HEREBY CERTIFY THAT THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT CITY HALL ON OR BEFORE 5:30 P.M., FRIDAY, JANUARY 13, 2017.

GWENDOLYN MANIGOLD, ADMINISTRATIVE SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING TAYLOR LOUGH, ADA COORDINATOR, VIA PHONE AT 972 744-4208, VIA EMAIL AT ADACoordinator@COR.GOV, OR BY APPOINTMENT AT 411 W. ARAPAHO ROAD, RICHARDSON, TEXAS 75080.

PURSUANT TO SECTION 30.06 PENAL CODE (TRESPASS BY HOLDER WITH A CONCEALED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A CONCEALED HANDGUN.

PURSUANT TO SECTION 30.07 PENAL CODE (TRESPASS BY HOLDER WITH AN OPENLY CARRIED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A HANDGUN THAT IS CARRIED OPENLY.



Briefing Session B

Development Status Report & Map



Development Status Report

City of Richardson, Texas • Development Services Department

Updated: January 12, 2017

#	Name/Location	Project Information	Status
ZONING/SPECIAL PERMIT			
1	Jasmine Hill NW of Abrams Rd. & Buckingham Rd.	Zoning File 16-25: A request for a change in zoning from R-1250-M Residential to PD Planned Development for the RP-1500-M Patio Home District with modified development standards to accommodate a 35-lot single-family patio home development on approximately 5.43 acres located at the northwest corner of Abrams Road and Buckingham Road. The property is currently zoned R-1250-M Residential. Applicant: Abrams Developers, LLC. <i>Staff: Sam Chavez.</i>	City Plan Commission November 15, 2016 <i>Recommended Approval</i> City Council January 23, 2017 <i>Rescheduled from the December 12, 2016 City Council Meeting</i>
2	Shamm Mediterranean Cuisine 310 E. Main St.	Zoning File 16-26: A request for approval of a Special Permit for a smoking establishment located at 310 E. Main Street, east of S. Greenville Avenue, on the south side of E. Main Street. The property is currently zoned PD Planned Development for the Main Street/Central Expressway Form Based Code (Main Street Sub-district). Applicant: Nedal Naser, Shamm Mediterranean Cuisine. <i>Staff: Amy Mathews.</i>	City Plan Commission December 6, 2016 <i>Recommended Approval</i> City Council January 23, 2017
3	Main Street NE of Central Expy. & Main St.	Zoning File 16-28: A request for approval of a Special Development Plan for a 14.5-acre tract of land to allow for a mixed-use development and a Special Permit for drive-through service for Chase Bank on 3.05 acres of land within the 14.5-acre tract of land located between Central Expressway and N. Interurban Street and W. Main Street and Greer Street. The property is currently zoned PD Planned Development for the Main Street/Central Expressway Form Based Code (Central Place Sub-district). Applicant: Embrey Partners, Ltd. and Fobare Commercial, LP. <i>Staff: Sam Chavez.</i>	City Plan Commission December 20, 2016 <i>Recommended Approval</i> City Council January 23, 2017
4	Great Room Escape 100 S. Central Expy.	Zoning File 16-27: A request for approval of a Special Permit for an approximate 6,000-square foot indoor commercial amusement center located within the Richardson Heights Village Shopping Center at the southwest intersection of Belt Line Road and Central Expressway. The property is currently zoned PD Planned Development for the Main Street/Central Expressway Form Based Code (Central Place Sub-district). Applicant: Greg Salyers, Great Room Escape, LLC. <i>Staff: Amy Mathews.</i>	City Plan Commission December 6, 2016 <i>Recommended Approval</i> City Council <i>Application Withdrawn</i>



Development Status Report

City of Richardson, Texas • Development Services Department

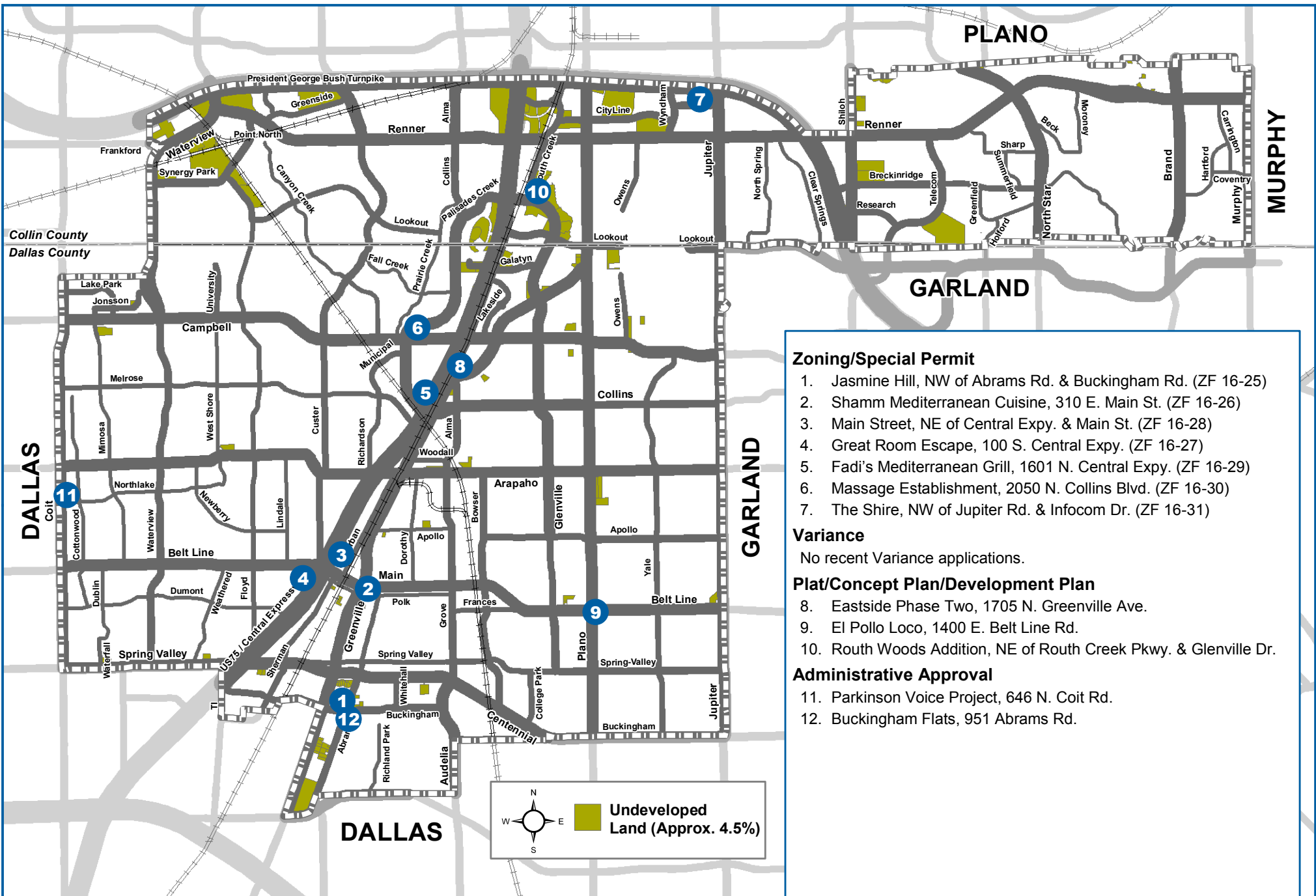
#	Name/Location	Project Information	Status
ZONING/SPECIAL PERMIT (CONT'D)			
5	Fadi's Mediterranean Grill 1601 N. Central Expy.	Zoning File 16-29: A request for approval of a Special Permit for a smoking establishment located at 1601 N. Central Expressway, the northwest corner of Gateway Blvd. and Central Expressway. The property is currently zoned C-M Commercial. Applicant: Chadi Merched representing Fadi's Mediterranean Grill. Staff: Amy Mathews.	City Plan Commission January 3, 2017 <i>Recommended Approval</i> City Council February 20, 2017 <i>Tentative</i>
6	Massage Establishment 2050 N. Collins Blvd.	Zoning File 16-30: A request for approval of a Special Permit for a massage establishment to be located at 2050 N. Collins Boulevard on the south/east side of Collins Boulevard, north of Campbell Road. The property is currently zoned C-M Commercial. Applicant: Li Kao. Staff: Amy Mathews.	City Plan Commission January 3, 2017 <i>Recommended Approval</i> City Council February 20, 2017 <i>Tentative</i>
7	The Shire NW of Jupiter Rd. & Infocom Dr.	Zoning File 16-31: A request for a change in zoning from LR-M(1) Local Retail and LR-M(2) Local Retail to PD Planned Development for approval of a concept plan to accommodate modifications of the development standards and the development of the northern portion of the tract on approximately 8.4 acres located at the northwest corner of Jupiter Road and Infocom Drive. The property is currently zoned LR-M (1) and LR-M(2). Applicant: Tommy Cromwell representing The Shire at Cityline II LTD. Staff: Amy Mathews.	City Plan Commission February 7, 2017 <i>Tentative</i>
VARIANCE			
		<i>No recent Variance applications.</i>	
PLAT/CONCEPT PLAN/DEVELOPMENT PLAN			
8a	Eastside Phase Two 1705 N. Greenville Ave.	Master Sign Plan: A request for approval of a master sign plan for Eastside Phase Two. The 13.01-acre site is located at 1705 N. Greenville Ave. on the west side of N. Greenville Avenue, north of Alma Road. Applicant: Terence Johnson, representing Richardson Alma, LLC Staff: Sam Chavez.	City Plan Commission January 3, 2017 <i>Approved</i>
8b	Eastside Addition Phase II	Replat: A request for approval of a replat of Lot 1A, Block A to subdivide one (1) existing lot into two (2) lots to accommodate the sale of an approximately 9,200-square foot lot. The 5.03-acre site is located at 1705 Greenville Avenue, west side of Greenville Avenue, north of Alma Road. Applicant: James Dobbie, representing Richardson Alma LLC. Staff: Dan Tracy.	City Plan Commission January 17, 2017



Development Status Report

City of Richardson, Texas • Development Services Department

#	Name/Location	Project Information	Status
PLAT/CONCEPT PLAN/DEVELOPMENT PLAN (CONT'D)			
9	El Pollo Loco 1400 E. Belt Line Rd.	Development Plans: A request for approval of a final plat, site plan, landscape plan and building elevations for a 2,660-square foot restaurant with drive-through service. The 0.643-acre site is located at 1400 E. Belt Line Road, the southeast corner of Belt Line Road and Plano Road. Applicant: Matt Moore, Claymoore Engineering, Inc, representing ZPV Corporation. <i>Staff: Chris Shacklett.</i>	City Plan Commission January 17, 2017
10	Routh Woods Addition NE of Routh Creek Pkwy. & Glenville Dr.	Final Plat A request for approval of a final plat for Lot 1, Block A of the Routh Woods Addition to create a 17.2-acre lot located at 2710 Routh Creek Parkway, at the northeast corner of Routh Creek Parkway and Glenville Drive. Applicant: Joe Fraccaro, Kimley-Horn, representing JRG LHC, LLC. <i>Staff: Chris Shacklett.</i>	City Plan Commission January 17, 2017
ADMINISTRATIVE APPROVAL			
11	Parkinson Voice Project 646 N. Coit Rd.	Site Plan: Revised the site plan to reflect expansion of Parkinson Voice Project into the remainder of the existing 10,104 square feet building and the installation of a new accessible ramp with handrail on the west side of the building. As a result of the expansion, 41 parking spaces are required; 50 parking spaces are provided. <i>Staff: Mohamed Bireima.</i>	Staff January 6, 2017 <i>Approved</i> Approval Memo & Plans
12	Buckingham Flats 951 Abrams Rd.	Site & Landscape Plans: Revised the site and landscape plans to reflect the relocation of the perimeter fence, elimination of the entry driveway gates, and the installation of steps, guardrails and accessible ramps at various locations. <i>Staff: Mohamed Bireima.</i>	Staff January 11, 2017 <i>Approved</i> Approval Memo & Plans



Zoning/Special Permit

1. Jasmine Hill, NW of Abrams Rd. & Buckingham Rd. (ZF 16-25)
2. Shamm Mediterranean Cuisine, 310 E. Main St. (ZF 16-26)
3. Main Street, NE of Central Expy. & Main St. (ZF 16-28)
4. Great Room Escape, 100 S. Central Expy. (ZF 16-27)
5. Fadi's Mediterranean Grill, 1601 N. Central Expy. (ZF 16-29)
6. Massage Establishment, 2050 N. Collins Blvd. (ZF 16-30)
7. The Shire, NW of Jupiter Rd. & Infocom Dr. (ZF 16-31)

Variance

No recent Variance applications.

Plat/Concept Plan/Development Plan

8. Eastside Phase Two, 1705 N. Greenville Ave.
9. El Pollo Loco, 1400 E. Belt Line Rd.
10. Routh Woods Addition, NE of Routh Creek Pkwy. & Glenville Dr.

Administrative Approval

11. Parkinson Voice Project, 646 N. Coit Rd.
12. Buckingham Flats, 951 Abrams Rd.

Development Status Map

City of Richardson, Texas



Updated: January 12, 2017



Agenda Item 1

**Approval of the Minutes of the January 3, 2017
City Plan Commission Meeting**

**CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – JANUARY 3, 2017**

The Richardson City Plan Commission met on January 3, 2017, at 7:00 p.m. at City Hall in the Council Chambers, 411 W. Arapaho Road, Richardson, Texas.

MEMBERS PRESENT: Gerald Bright, Chairman
Ron Taylor, Vice Chair
Marilyn Frederick, Commissioner
Stephen Springs, Alternate
Ken Southard, Alternate

MEMBERS ABSENT: Janet DePuy, Commissioner
Randy Roland, Commissioner
Bill Ferrell, Commissioner
Tom Maxwell, Commissioner

CITY STAFF PRESENT: Sam Chavez, Assistant Director – Dev. Svcs. – Planning
Amy Mathews, Sr. Planner
Gwen Manigold, Administrative Secretary

BRIEFING SESSION

Prior to the start of the regular business meeting, the City Plan Commission met with staff regarding staff reports, agenda items and rezoning initiatives. No action was taken.

REGULAR BUSINESS MEETING

MINUTES

1. Approval of minutes of the regular business meeting of December 20, 2016.

Chairman Bright noted two corrections to be made to the minutes: one on page 3 under Item 3, a Commissioner's name was omitted from the comment and one on page 10, a remark made by Commissioner Springs was not included.

Mr. Chavez replied that those items would be corrected.

Motion: Commissioner Southard made a motion to approve the minutes with corrections as noted; second by Commissioner Taylor. Motion approved 5-0.

ACTION ITEM

- 2. Master Sign Plan – Eastside Phase Two:** A request for approval of a Master Sign Plan for Eastside Phase Two. The 13.01-acre site is located at 1705 N. Greenville Ave., west side of N. Greenville Avenue, north of Alma Road.

Mr. Chavez advised that the applicant was requesting approval of a Master Sign Plan (MSP) for Eastside Phase Two as allowed for in Ordinance 4189. Section 10 of the ordinance allowed signs that are unique in size, color, type, design and location that do not comply with Chapter 18, the City's Sign Code. Master Sign Plans are to be submitted and reviewed by the City Manager or designee, and require approval by the City Plan Commission.

Mr. Chavez stated that a MSP should promote consistency among signs, enhance compatibility of signs with the architecture and design features of the development, should be in character with the development and create a unique sense of place.

Mr. Chavez stated the proposed MSP includes an introduction, design concepts, methodology, sign types and a master sign plan table.

Mr. Chavez stated there are eight (8) sign types proposed with the development:

- Building Name Graphic
- Marketing Banner (temporary banner)
- Leasing Identification Graphic
- Building Address Graphic (2 types)
- Building Portal Identity Plaque
- Primary Brand Feature
- Garage Entry – Exit Identification and Parking Resident Guest Entry Signs
- Parking Regulatory Signs

Mr. Terrance Johnson, 5447 Harvest Oak Landing, Spring, Texas, stated that he had worked with Mr. Chavez over the last two weeks. One of the things that they did not want to do was to deviate too far from the sign code. He stated that there is one sign; the sign facing Central Expressway, that was 120 square feet in size, and was the largest one proposed. Similar materials will be used throughout the development. The other unique sign is the stackable monument sign, which worked well for the phasing of the project.

Commissioner Frederick noted that colors shown on many graphics were sometimes a little different than in reality, and asked what color of green was on the banner.

Mr. Johnson stated that he had samples at the jobsite and that the color was pretty close to that shown in the presentation. The sign company was able to match the color for the signs.

Chairman Bright asked Mr. Chavez if this was similar to the master sign plans for Cityline or UTD.

Mr. Chavez replied that it was similar in the type of signs. Northside had eleven (11) proposed signs as opposed to eight (8) sign types for Eastside. The formatting of this master sign plan was similar to the other sign plans throughout for ease of review.

Mr. Bright clarified that they were similar to UTD.

Commissioner Springs stated that given the criteria, he thought it looked fairly consistent with the intent of the ordinance and the criteria, and would be in favor of approving the item.

Motion: Commissioner Springs made a motion to approve Agenda Item 2, Master Sign Plan as presented; second by Commissioner Frederick. Motion approved 5-0.

PUBLIC HEARINGS

3. **Zoning File 16-29 – Fadi’s:** Consider and take the necessary action on a request for approval of a Special Permit for a smoking establishment located 1601 N. Central Expressway, the northwest corner of Gateway Boulevard and Central Expressway.

Ms. Matthews stated the property was zoned C-M Commercial. Fadi’s is a 6,500 square foot restaurant which was completing renovations due to a major fire in 2014, including the patio that the applicant was requesting a smoking establishment permit for. Smoking is not allowed inside the building as smoking is prohibited inside a restaurant; however, Chapter 10 allowed smoking outdoors on a restaurant’s patio as long as smoking did not occur within 10 feet of any openings. Ms. Mathews presented photos of the property showing the patio area.

Ms. Mathews stated that if the Commission recommended approval of the applicant’s request, the motion should include the following: the Special Permit shall be granted to allow a smoking establishment as defined in the CZO and shall be limited to outdoor use only on the patio, with the hours of operation limited to 11:00 AM to 11:00 PM Sunday through Thursday and 11:00 AM to 12 AM Friday and Saturday.

With no questions for staff, Chairman Bright opened the public hearing.

Mr. Mohammed Shamali, 7333 Valley View Lane, Dallas, Texas, the builder, came forward to answer any questions that the Commissioners had.

Commissioner Southard asked how the patio area will be supervised by restaurant staff and if the use was intended for just restaurant patrons or would it be a gathering place for non-restaurant customers to use the hookah services.

Mr. Shamali replied that they have 8-9 locations in Houston and all over DFW, and that they were primarily a restaurant and not a hookah lounge. Restaurant customers often ask for hookah service and they wanted to provide that for the customers that are eating at the restaurant. They chose the right side of the building because there is no door close by and the nearest door is probably 30 feet away from the patio area.

Commissioner Taylor asked if there would be any kind of structure separating the smoking area from the parking lot or did they intend to enclose it in any fashion with a short wall.

Mr. Shamali stated that they did not intend to enclose the patio because there was a 5-1/2 foot wide sidewalk around the patio area and the patio was not close to the parking area.

Commissioner Frederick asked if they envisioned clients having dinner on the patio with tables set up where they could smoke and eat at the same time.

Mr. Shamali replied that if customers wanted they could, but it was a small area that could fit about 4 or 5 tables. If someone requested the smoking service, there would be tables if they wanted to eat and smoke hookahs. The restaurant is about 6,500 square feet and the patio is very small compared to the restaurant.

Chairman Bright wanted to clarify if patrons will be allowed to go out to the patio without having ordered something from the restaurant.

Mr. Shamali said that they would want patrons to eat at the restaurant and then order a hookah with their food.

Mr. Robbi Merched, 24 Clear Pond, Frisco, Texas, representing the applicant, stated that he wanted to address the issue concerning whether people were just going to be allowed to walk in, he said definitely no. They are trying to make it an upscale restaurant for guests and to match other competitors' offerings.

With no other comments or questions in favor or opposed, Chairman Bright closed the public hearing.

Commissioner Springs commented that what they were proposing checked all the boxes in what the ordinance requires of a smoking establishment. He stated that he thought this was an acceptable location for the use. In that regard, he did not see who this would bother since there is no residential around the restaurant. He also noted that he appreciated some of the changes from the last time this was brought before the Commission in that it is restricted to operational hours of the restaurant and specifically to the patio area.

Chairman Bright agreed with Commissioner Springs' comments and asked whether smoking will be allowed during lunch hours, seeing that the hours of operation are 11:00 AM to 11:00 PM Sunday – Thursday and 11:00 AM to 12 AM Friday and Saturday.

Ms. Mathews stated that smoking would be allowed during all hours of operation.

Commissioner Southard stated that he wanted to clarify whether customers would be allowed to bring their own materials for smoking on the site.

Mr. Shamali replied it was a restaurant first and that the patio area would be controlled.

Commissioner Southard stated that he appreciated the attitude that this would be an extra service for restaurant customers and not intended to draw a different crowd to the restaurant.

Commissioner Springs asked Mr. Shamali if he would be opposed to having this permit restricted to Fadi's and not apply to the property.

Mr. Shamali responded that the condition was acceptable.

Chairman Bright asked staff whether someone could bring their own products on to the property.

Ms. Mathews state that the current smoking ordinance allows people to bring their own cigarettes, cigars, hookahs, etc.

Chairman Bright asked if the owner could restrict that even though the ordinance would allow it.

Mr. Chavez replied yes; however, it might help with controlling that issue if they were to erect a wrought iron fence that secured the patio area from anyone just driving up and parking and sitting in the patio.

Chairman Bright stated that was Commissioner Taylor's concern.

Mr. Shamali replied that the concrete was flush with the sidewalk so there is no need for railing. The actual patio structure separates it from the sidewalks and they would have waiters at the patio site on both sides to control that from occurring.

Commissioner Southard asked since there was the lack physical separation, would alcohol beverage service be provided on the patio.

Mr. Shamali stated that they would not be serving alcohol at all.

Commissioner Taylor stated that if they were not planning to serve alcohol, the combined buffer of the sidewalk and their outdoor wait staff should present an environment that is controllable.

Chairman Bright agreed and also agreed with the restriction on the permit to the applicant Commissioner Springs had proposed as well.

Motion: Commissioner Springs made a motion to recommend approval of Zoning File 16-29 with the amendment that the permit be granted to Fadi's, the owner of the restaurant; second by Commissioner Taylor. Motion approved 5-0.

- Zoning File 16-30 – Massage Establishment:** Consider and take necessary action on a request for approval of a Special Permit for a massage establishment to be located at 2050 N. Collins Boulevard, north of Campbell Road. The property is currently zoned C-M Commercial.

Ms. Mathews stated that in February of 2016 the Comprehensive Zoning Ordinance was amended to require approval of a special permit for massage establishments in all non-residential and non-apartment zoning districts. Staff conducted a survey and found that there were approximately 45 massage and/or reflexology/foot spa establishments operating in the City of Richardson.

Ms. Mathews showed photos showing the area where the massage establishment would be located and stated that the closest residential development was roughly 500 feet away to the northwest. The proposed use would occupy approximately 900 square feet of the 10,000 square foot building.

Ms. Mathews stated that if the Commission recommended approval of the applicant's request, the motion should include the following: a massage establishment shall be allowed as defined in the CZO and limited to the area shown and that the hours of operation as proposed by the applicant would be limited to 10:00 AM to 9:00 PM Monday through Saturday and 11:00 AM through 8:00 PM on Sunday.

Commissioner Springs asked how many other massage establishments were located within close proximity to the subject site and where were they located.

Ms. Mathews replied there were three (3) in the general area, north and northeast of the subject site.

Commissioner Taylor asked staff if there was an ordinance that restricted/limited the number of a particular type of establishment to be located within certain proximity of one another.

Ms. Mathews replied that there was no such ordinance.

Chairman Bright asked if that rationale; the location of similar type of establishments, could be used to determine whether it was an appropriate use for that area.

Mr. Chavez stated that it could be used as a factor, however, other factors such as land use impacts: light, noise, traffic or design, could be considered as well. Land use impacts associated with specific types of lands uses were typically factors associated with the requirement for Special Permits.

With no additional questions for staff, Chairman Bright opened the public hearing.

Mr. Raphael Schmidec, 4515 Maple Ave., Dallas, Texas, stated that on behalf of the property management of Canyon Creek Shopping Center, which is located south and adjacent to the proposed site, they were opposed to the request. Millions of dollars had been spent on upgrading the center and its tenants to change the look and feel of the center. Mr. Schmidec noted that the Center already had three (3) establishments that all offered massage services.

Mr. Schmidec said that the proposed location was in an area that had poor lighting as opposed to the improved area they had worked on and was concerned that this was going to go against everything they had been trying to accomplish for the last three or four years.

Chairman Bright asked if there were any other questions for Mr. Schmidec or if Mr. Schmidec had anything to add.

Mr. Schmidec stated that the property he represents was completely dedicated and committed to the overall development of the City of Richardson and that they were in the process of working on the adjacent property that would give them ownership of the entire commercial development from Collins Boulevard to Alamo Road.

Chairman Bright asked about the additional property they were trying to acquire.

Mr. Schmidec stated that it was the property east of their current center to Alamo Road, where Gold's Gym and Fox & Hound are located; while they did not own the property, they were currently in negotiations for the property.

Mr. Daniel Teng, the subject property owner, 7038 Mossvine, Dallas, Texas stated that he was surprised by Mr. Schmedic's statements. He stated that what Mr. Schmedic had accomplished on their property was great, but that his description of the subject property was incorrect. Mr. Schmedic's statement that the condition of the subject property was bad for the city was not true. They remodeled the building and he felt it was not a disgrace to the City of Richardson.

Mrs. Gloria Teng, 7038 Mossvine, Dallas, Texas. Mrs. Teng said they totally remodeled the building in 2008, noting that everything is new inside, it was a nice looking building and they are proud of the building. The massage establishment that is requesting the Special Permit is only 900 square feet in size and is a small business.

Mrs. Teng stated that the lease space was previously a spa, including massage, waxing, and facials. The previous spa closed in August 2016.

Commissioner Taylor asked what other occupants were located in the building.

Mrs. Teng replied there was a small camera repair shop, an office space, a custom jeweler, a travel agent, a lab and office use and a hookah lounge. They are all small businesses.

Although there were no other persons in favor or in opposition, Chairman Bright left the public open so additional comments could be considered.

Commissioner Frederick noted that she drove by the location three or four times a day to and from home. She stated that she did not find the building offensive or derelict. She stated that in her opinion, everyone had a right to have or start a small business.

Chairman Bright stated that he appreciated the work and the businesses that had been brought in by the Canyon Creek Shopping Center; however, it was the Commission's charge to determine if the subject request was an appropriate use for the subject site.

Commissioner Frederick asked staff if this would be considered highly dense with the number of similar establishments already in the area.

Mr. Chavez answered that he would not consider this to be highly dense. There are three or four, at the most, in the vicinity. The existing establishments that offered massages were there prior to the zoning text amendment, so they were grandfathered uses and there had been just 2 or 3 applications for a Special Permit for massage establishments since the ordinance was amended.

Chairman Bright stated he was not as familiar with the area, but thought that if it was limited to the particular tenant, it would be an appropriate use for the building at that location.

Commissioner Springs concurred with Chairman Bright's suggestion.

Commissioner Springs said that he was a little concerned with the request because there had been a massage establishment at that location before and it did not last for whatever reason, and wondered how successful another one at this location would be.

Commissioner Fredrick restated that in her opinion anyone had the right to give it a try and open their own business.

Motion: Commissioner Springs made a motion to recommend approval of Zoning File 16-30 with the amendment that the permit be limited to the tenant; second by Commissioner Frederick. Motion approved 4-1 (Commissioner Southard opposed).

Chairman Bright closed the public hearing.

ADJOURN

With no further business before the Commission, Chairman Bright adjourned the regular business meeting at 8:00 p.m.

Gerald Bright, Chairman
City Plan Commission

Agenda Item 2

**Development Plans:
El Pollo Loco**

El Pollo Loco

Attachments:

1. Locator Map
2. Final Plat Staff Report
3. Final Plat
4. Site Plan Staff Report
5. Site Plan
6. Concept Plan
7. Landscape Plan Staff Report
8. Landscape Plan
9. Building Elevations Staff Report
10. Building Elevations
11. Concept Elevations



Richardson Center - Lot 12
El Pollo Loco - 1400 E. Belt Line Road



**CITY PLAN COMMISSION
BACKGROUND INFORMATION
January 17, 2017**

Final Plat

PROJECT SUMMARY

Subdivision:	Richardson Center, Lot 12 <i>being a final plat of a 0.643-acre tract of land</i>
Location:	1400 E. Belt Line Road
Staff Comments:	<p>The purpose of the final plat is to create a single lot and to dedicate/abandon easements to accommodate the development of a restaurant with drive through service.</p> <p>The replat complies with City zoning and subdivision regulations.</p>
CPC Action:	Final decision

BACKGROUND

Tract Size:	0.643 acres (27,999 square feet)
Zoning:	PD Planned Development with modified development standards to accommodate the development of a restaurant with drive-through service (Ordinance 4193)
Easements/Setbacks:	
Existing to Remain	None.
Dedicated by this Plat	25'x25' street, pedestrian and utility easement at the northwest corner of the property; and a 10-15' Oncor easement along Plano Road.
Abandoned by this Plat	15'x15' street, pedestrian and utility easement at the northwest corner of the property.

Wendy Plano Belt LP
 c/sr 201100121140 (DRDCT)
 Lot 6, Block A
 Skaggs-Albertson Addition No. 1
 Lot 6 Block A Subdivision
 Volume 85179, Page 3 (MRDCT)

DIBA Petroleum, Inc.
 c/sr 20080236967 (OPRDCT)
 Part of Lot 2, Block 1
 Southland Plaza
 Volume 73157, Page 1346 (MRDCT)

E. Barroux Survey, Abstract No. 162
 J. J. Alexander Survey, Abstract No. 41

Mary Hargroeder Survey, Abstract No. 574

Belt Line Road
 (130' ROW)

Lot 12
 0.643 Acres
 27,999 Sq. Ft.
 ZPV Corporation
 Volume 2004133, Page 6689

Plano Road
 (130' ROW)

C.O.R. Mon 541
 79201555.51
 E. 2520743.26

The Munson Realty Company
 c/sr 20070329398 (OPRDCT)
 Part of Richard Wiegman Springs Center
 Volume 6151, Page 8327 (DRDCT)

Lot 1, Block 1
 Center
 Volume 78163, Page 1751 (DRDCT)

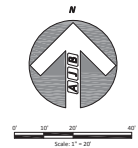


GENERAL NOTES:

The use of the word "certify or certificate" used herein constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

Basin of Bearings: Bearings are based on GPS measurements observed on the 8th day of August, 2016.

FLOOD STATEMENT: According to Community Panel No. 481130205K, dated July 7, 2014 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. (This site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor)



LICENSED	
ME	Iron Rod Found
RS	Iron Rod Found
DRCT	David Records Dallas County, Texas
PRDCT	Paul Records Dallas County, Texas
MRDCT	Mark Property Records Dallas County, Texas
OPRDCT	Official Public Records Dallas County, Texas

STATE OF TEXAS §
 DALLAS COUNTY §
 CITY OF RICHARDSON §

WHEREAS ZPV CORPORATION is the owner of a 0.643 acre tract of land situated in the Mary Hargroeder Survey, Abstract No. 574, City of Richardson, Dallas County, Texas, being same land as described in a deed to ZPV Corporation recorded in Volume 2004133, Page 6689, Official Public Records Dallas County, Texas (OPRDCT) and being more particularly described as follows:

BEGINNING at an "x-cut" in concrete set for corner at the intersection of the south line of Belt Line Road a 110 feet wide right of way and the east line of Plano Road a 130 feet wide right of way;

THENCE along the south line of said Belt Line Road, NORTH 89°27'47" EAST a distance of 175.00 feet to a 5/8 inch iron set for corner at the northwest corner of Lot 10 of Richardson Center an addition to the City of Richardson according to the plat recorded in Volume 77091, Page 3307 (OPRDCT);

THENCE along the west line of said Lot 10, SOUTH 00°08'13" EAST a distance of 160.00 feet to a capped iron rod found for corner at an interior of corner of said Lot 10;

THENCE along the north line of said Lot 10, SOUTH 89°27'47" WEST a distance of 175.00 feet to a point for corner in the east line of said Plano Road, from which a capped iron rod found bears SOUTH 89°27'47" WEST a distance of 1.66 feet;

THENCE along the east line of said Plano Road, NORTH 00°08'13" WEST a distance of 160.00 feet to the POINT OF BEGINNING;

CONTAINING 0.643 acres 27,999 square feet of land more or less.

STATE OF TEXAS §
 DALLAS COUNTY §
 CITY OF RICHARDSON §

That I (we), ZPV CORPORATION, being the owner(s) of the hereinafter described property, do hereby adopt this plat designating the herein described property as the RICHARDSON CENTER, LOT 12, being a 0.643 acre (27,999 S.F.) tract out of the Mary Hargroeder Survey, Abstract No. 574, City of Richardson, Dallas County, Texas, as addition to the City of Richardson, Dallas County, Texas. I (we) do hereby dedicate to the public use forever the streets and alleys shown thereon. The easements shown thereon are hereby reserved for purposes as indicated. The utility and access easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and access easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or replaced upon, over or across the easements as shown; said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. All and any public utilities shall have the right to remove all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility. I (we) do hereby dedicate the mutual access easements shown thereon for use by the public as a means of pedestrian and vehicle access to the property shown thereon and to the adjacent property thereon.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Richardson, Texas.

EXECUTED THIS _____ day of _____, 2016.

ZPV CORPORATION
 By: _____
 Name/Title: _____

STATE OF TEXAS §
 DALLAS COUNTY §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN, UNDER MY HAND SEAL OF OFFICE this the _____ day of _____, 2016.

Notary Public in and for Dallas County, Texas

SURVEYOR'S CERTIFICATE

I, Austin J. Bedford, a Registered Professional Land Surveyor in the State of Texas do hereby certify that I prepared this plat from an actual on the ground survey of the land and the monuments shown thereon were found and/or placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Richardson, Texas.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Austin J. Bedford
 Registered Professional Land Surveyor No. 4132
 A.J. Bedford Group, Inc.
 301 N. Alamo Road
 Rockwall, Texas 75087

STATE OF TEXAS §
 ROCKWALL COUNTY §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Austin J. Bedford, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN, UNDER MY HAND SEAL OF OFFICE this the _____ day of _____, 2016.

Notary Public in and for the State of Texas

RICHARDSON CENTER
LOT 12

BEING A 0.643 ACRE (27,999 S.F.) TRACT OUT OF THE MARY HARGROEDER SURVEY, ABSTRACT NO. 574 CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

Address: 1400 E. Belt Line Road

Scale: 1" = 20'	Checked By: A.J. Bedford
Date: August 10, 2016	P.C.: Oyer/Spradling
Technician: Spradling/Etam	Site: Belt Line Plaza S.B. 56
Drawn by: Spradling/Etam	Job No. 552-111
	GF No. 07-678-18103068-04

301 N. Alamo Rd. • Rockwall, Texas 75087
 (972) 722-0225 • www.a BedfordGroup.com • info@ajbedfordgroup.com

Sheet: 1
 of: 1



TDPLS REG30118200

Owner:
 ZPV Corporation
 c/o Salem Virens
 1400 E Belt Line Road
 Richardson, Texas 75081

Engineer:
 Clay Moore Engineering
 1903 Central Drive, Suite 406
 Bedford, Texas 76021

E:\MAIL\BEDFORD\CLAYMOORE\ENGINEERING\PROJECTS\RD\BELL LINE 1400 BEL LINE 12.dwg, 12/28/2016 11:12:14 AM

**CITY PLAN COMMISSION
BACKGROUND INFORMATION
January 17, 2017**

Site Plan

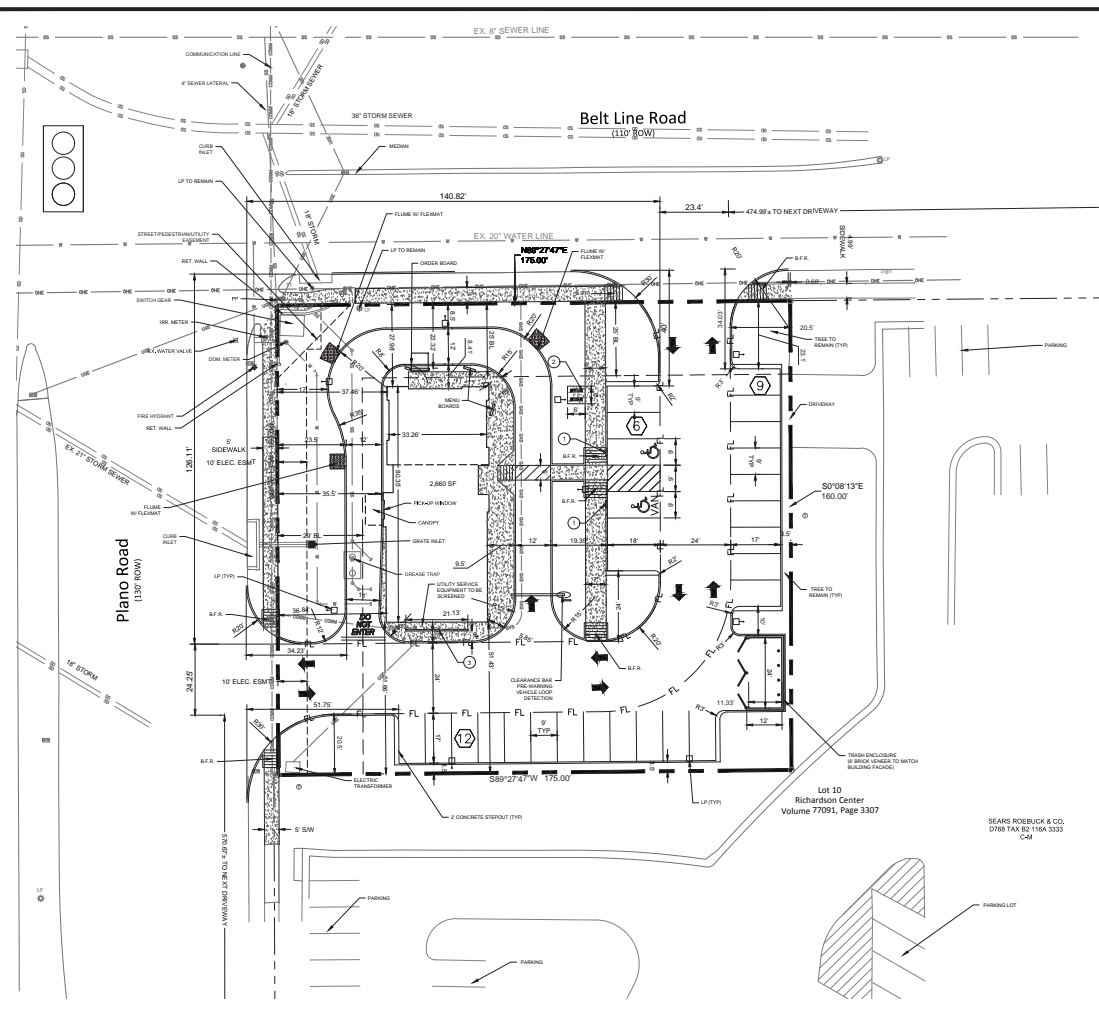
PROJECT SUMMARY

Project:	El Pollo Loco
Location:	1400 E. Belt Line Road Southeast corner of Belt Line Road and Plano Road
Staff Comments:	<p>The site plan reflects the demolition of the existing motor vehicle station to accommodate the development of a 2,660-square foot, single-story restaurant with drive through service in accordance with the PD Planned Development approved by the City Council (Ordinance 4193). The PD allowed a reduction from the typical 40-foot setbacks along Belt Line Road and Plano Road for the building and menu boards. Additionally, a metal screen was allowed for the screening of wall mounted utilities on the south side of the building in lieu of a masonry wall or living screen.</p> <p>The site plan complies with all applicable zoning, development regulations and Ordinance 4193.</p>
CPC Action:	Final decision

BACKGROUND

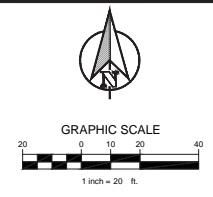
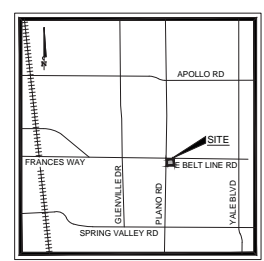
Zoning:	PD Planned Development District (Ordinance 4193).
Tract Size:	0.643 acres (27,999 square feet)
Building Area/Use:	2,660-square foot restaurant
Site Access:	The site has access to Belt Line Road and Plano Road. Pedestrian access will be provided to the site from the sidewalk along Belt Line Road with a lead sidewalk, which is connected to a nearby bicycle rack.
Parking Summary:	
Parking Ratio	1/100 for restaurant
Spaces Required	27
Spaces Provided	27

PLOTTED BY: DEW DONOSKY
 PLOT DATE: 1/9/2017 1:46 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2016-109_C100_RICHARDSON\CAD\DWG\SHEETS\SP-1_COMMERCIAL_SITE_PLAN.DWG
 LAST SAVED: 1/9/2017 2:38 AM



LEGEND	
	CONCRETE PAVEMENT
	CONCRETE CURB AND GUTTER
	PARKING COUNT
	B.F.R. BARRIER FREE RAMP

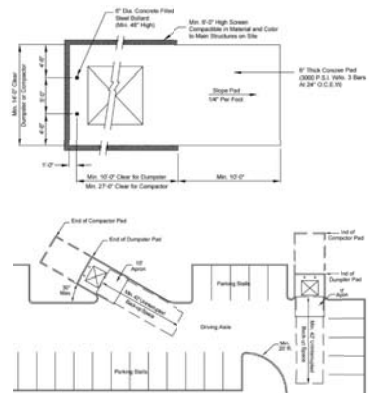
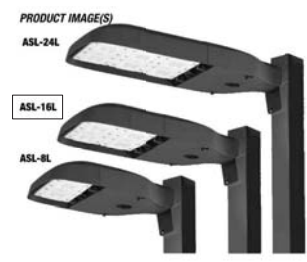
CONSTRUCTION SCHEDULE	
1	HANDICAP SIGN
2	BIKE RACK. REFER TO DETAIL THIS SHEET
3	7'-2" PAINTED GREY METAL MESH SCREEN WALL REFER TO ARCHITECTURAL DETAILS



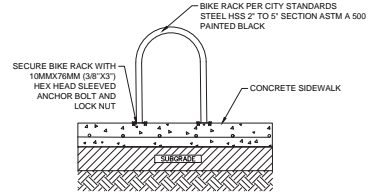
15043-000-00100
CLAYMOORE ENGINEERING
 PROFESSIONAL ENGINEERING
 CONSTRUCTION PLANNING
 CONSULTANTS
 MATT MOORE
 P.E. No. 95813, exp. 1/09/2017
 1501 N. ALAMO RD.
 BEDFORD, TX 76021
 PHONE: 817.272.0225
 WWW.CLAYMOORE.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 PROFESSIONAL ENGINEERING
 CONSTRUCTION PLANNING
 CONSULTANTS
 MATT MOORE
 P.E. No. 95813, exp. 1/09/2017

EL POLLO LOCO
1400 E BELT LINE ROAD
 RICHARDSON, TX 75081



TRASH ENCLOSURE DETAILS
SEE PLAN FOR ALTERNATE CONFIGURATION



BIKE RACK DETAIL



LIGHT POLE DETAIL

SITE DATA SUMMARY															
LOT	ZONING	ORDINANCE / CONDITIONS	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG HGT. (FT)	FLR AREA RATIO			PARKING			LANDSCAPING		
							REQ.	PROV.	PROV.	REQ. RATIO	REQ.	PROV.	REQ. (% SITE AREA)	SQ. FT.	PROV.
12	PD	4199 - ALLOWS RESTAURANT W/ DRIVE THRU SERVICE SEE PD CONDITIONS BELOW	0.643	27,999	2,660	23'-5 1/8" (TOP OF TALLEST ELEMENT) 1 STORY MAX 25'-0" ALLOWED	0.6:1	MAX	0.10:1	RESTAURANT (1 PER 100 SQ. FT.)	27	27	1,959.93 SF	8,329 SF	29.74%

PD CONDITIONS:

- A RESTAURANT WITH DRIVE-THROUGH SERVICE SHALL BE ALLOWED AS DEFINED IN THE COMPREHENSIVE ZONING ORDINANCE AND LIMITED TO THE AREA SHOWN ON THE ATTACHED CONCEPT PLAN, MARKED AS EXHIBIT "B" AND MADE A PART THEREOF.
- THE RESTAURANT WITH DRIVE-THROUGH SERVICE SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE ATTACHED CONCEPT PLAN (EXHIBIT "B") AND BUILDING ELEVATIONS (EXHIBIT "C").
- THE MINIMUM BUILDING FRONT SETBACK ALONG BELT LINE ROAD SHALL BE TWENTY-FIVE (25) FEET AND TWENTY-NINE (29) FEET ALONG PLANO ROAD.
- THE MINIMUM SETBACK FOR THE DRIVE-THRU MENU BOARD SHALL BE TWENTY-ONE (21) FEET ALONG BELT LINE ROAD.
- IN LIEU OF MASONRY AS DEFINED IN THE COMPREHENSIVE ZONING ORDINANCE, "THIN BRICK" SHALL BE ALLOWED AS DEPICTED IN EXHIBIT "B".
- DECORATIVE ARCHITECTURAL METAL SCREENS, WHICH SHALL BE PAINTED TO MATCH THE BUILDING'S EXTERIOR MATERIAL, SHALL BE ALLOWED FOR SCREENING OF WALL/GROUND MOUNTED UTILITIES AS DEPICTED IN EXHIBIT "B".
- A MINIMUM 8.5-FOOT LANDSCAPE BUFFER ALONG BELT LINE ROAD AND A MINIMUM 17-FOOT LANDSCAPE BUFFER ALONG PLANO ROAD SHALL BE PROVIDED AS DEPICTED IN EXHIBIT "B" AND SHALL BE LANDSCAPED IN ACCORDANCE WITH THE CITY'S LANDSCAPE GUIDELINE WITH THE FOLLOWING ADDITIONAL CONDITION:
 - THE LANDSCAPE BUFFER AREA BETWEEN POINTS "A" AND "B" AS SHOWN ON EXHIBIT "B" SHALL INCLUDE AN EVERGREEN LANDSCAPE SCREEN THAT SHIELDS VEHICLE HEADLIGHT BEAMS FROM BELT LINE ROAD AND PLANO ROAD AS THE VEHICLE TRAVEL THROUGH THE DRIVE-THRU LANE. SAID LANDSCAPE SCREEN SHALL BE DESIGNED UTILIZING A TWO (2) TIERED PLANTING DESIGN USING (1) PLANT MATERIAL THAT WILL CREATE A MINIMUM FORTY-TWO (42) INCH LANDSCAPE SCREEN AT THE TIME OF PLANTING, AND (2) A SECONDARY PLANT MATERIAL THAT WILL CREATE A MINIMUM EIGHTEEN (18) INCH SCREEN AT THE TIME OF PLANTING.
 - TWO (2) BIKE RACKS LOCATED WITHIN CLOSE PROXIMITY TO THE EAST BUILDING ENTRANCE SHALL BE PROVIDED.
 - POLE SIGNS SHALL BE PROHIBITED.

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
- REFER TO ARCHITECTURAL PLANS FOR FENCE AND GATE DETAILS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES.
- OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 1 FOOT CANDELA OR LESS.

BENCHMARK
 CITY OF RICHARDSON GEODETIC CONTROL MONUMENT NO. E-11
 ALUMINUM DISK IN TEN FOOT CURB INLET ON THE SOUTH SIDE OF BELT LINE ROAD, 40 FEET WEST OF PLANO ROAD.
 ELEVATION: 626.56

SITE PLAN
 LEGAL DESCRIPTION:
 RICHARDSON CENTER LOT 12
 BEING A 0.643 ACRE (27,999 S.F.) TRACT OUT OF
 THE MARY HARGROEDER SURVEY,
 ABSTRACT NO. 574
 CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

CITY OF RICHARDSON
 OWNER:
 SALEEM VIRANI
 1400 E BELT LINE RD
 RICHARDSON, TX 75081

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DR., SUITE 4100
 BEDFORD, TX 76021
 MATT MOORE
 PH: 817.281.0572

SURVEYOR:
 AJ BEDFORD GROUP, INC.
 301 N ALAMO RD
 ROCKWALL, TX 75087
 PH: 972.722.0225

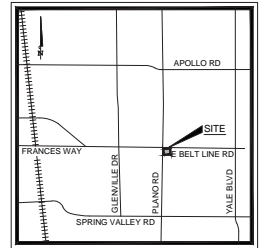
COUNTY: DALLAS CITY: CITY OF RICHARDSON STATE: TEXAS

DESIGN: HCU
 DRAWING: HCU
 CHECKED: MM
 DATE: 1/09/2017

SP-1
 SHEET 109/2017

COMMERCIAL SITE PLAN

**Concept Plan
Ordinance 4193**



VICINITY MAP
N.T.S.

LEGEND	
	PROPOSED LIGHT DUTY PAVEMENT
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED LANDSCAPE AREA
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	B.F.R. BARRIER FREE RAMP

NOTE: CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES.

Exhibit "B"

ZONING EXHIBIT (CONCEPT PLAN)

CITY CASE # ZF 16-23
 LEGAL DESCRIPTION:
 0.643 ACRES
 MARY HARGROEDER SURVEY, ABSTRACT NO. 574,
 CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

CITY OF RICHARDSON

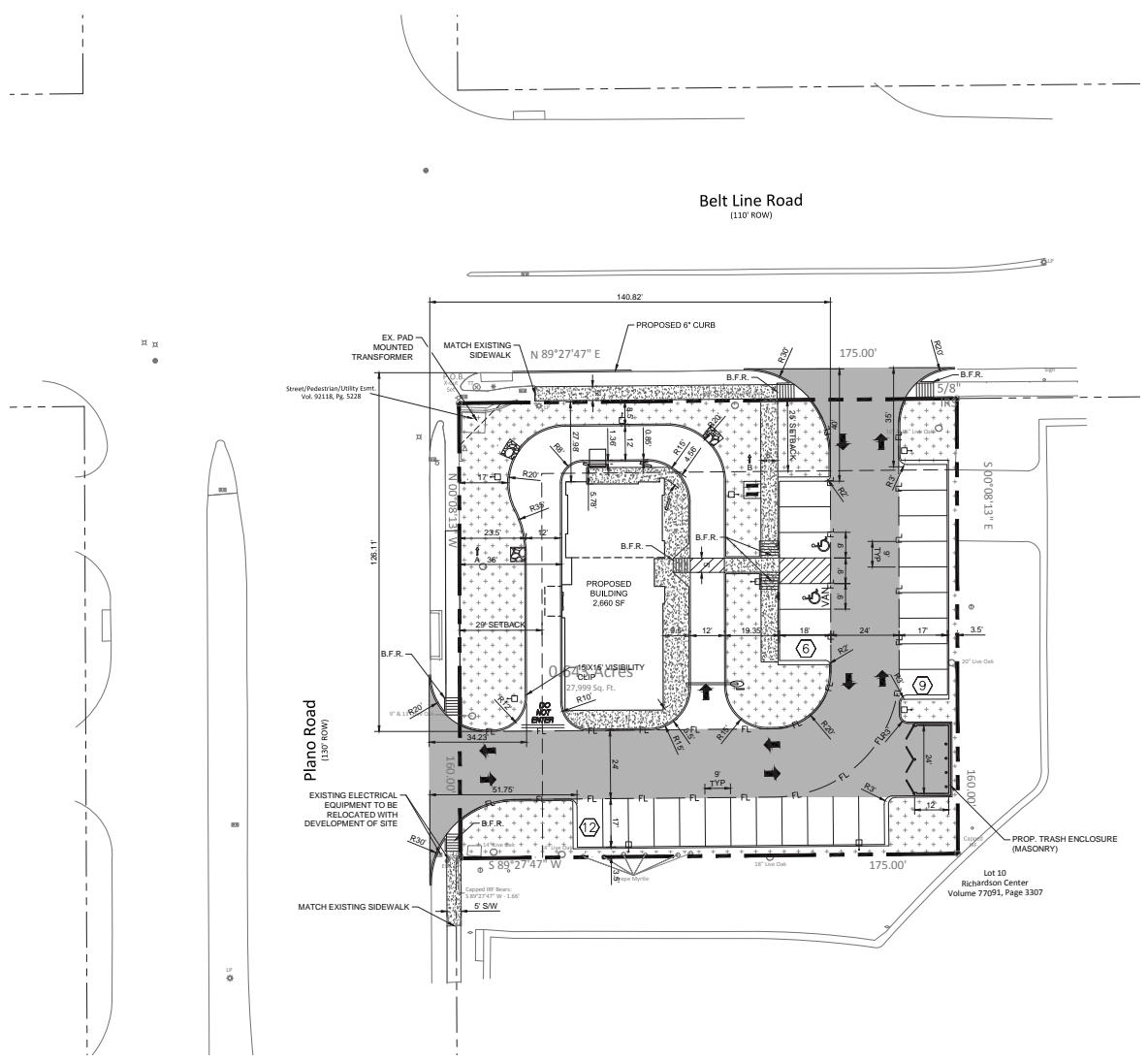
OWNER:
 SALEEM VIRANI
 1400 E BELTLINE RD
 RICHARDSON, TX 75081

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1900 CENTRAL DR., SUITE 4400
 BEFORD, TX 76021
 PH: 817.281.0572

SURVEYOR:
 AJ BEDFORD GROUP, INC.
 301 N ALAM RD
 ROCKWALL, TX 75087
 PH: 972.722.0225

COUNTY: DALLAS CITY: CITY OF RICHARDSON STATE: TEXAS

DESIGN: HCU
 DRAWING: HCU
 CHECKED: MAM
 DATE: 12/02/2016



SITE DATA SUMMARY

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG. HGT. (FT)	FLR AREA RATIO	PARKING		HANDICAP SP.		LANDSCAPING				
								REQ.	PROV.	REQ.	PROV.	REQ. (% SITE AREA), SQ FT	PROV.			
1	C-M	COMMERCIAL DISTRICT	0.64	27,999	2,660	25'-0" (1 STORY)	0.6:1 MAX	0.10	RESTAURANT (1 PER 100 SQ FT)	27	27	2	2	1,959.93 SF	8,329 SF	29.74%

BUILDING SETBACKS	REQUIRED	PROPOSED
FRONT SETBACK	40' (BELT LINE RD)	25' (BELT LINE RD)
FRONT SETBACK	40' (PLANO RD)	29' (PLANO RD)
REAR SETBACK	0'	0'
SIDE SETBACK	0'	0'
LANDSCAPE BUFFER	10' (ALONG R.O.W.)	17.0' (PLANO), 8.5' (BELT LINE)

BENCHMARK
 CITY OF RICHARDSON GEODETIC CONTROL MONUMENT NO. E-11
 ALUMINUM DISK IN TEN FOOT CURB INLET ON THE SOUTH SIDE OF
 BELT LINE ROAD, 40 FEET WEST OF PLANO ROAD.
 ELEVATION: 626.56

PLOTTED BY: DEW DONOSKY
 PLOT DATE: 12/12/2016 2:09 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2016-109_CIELO_RICHARDSON\CADD\SHEETS\OLDER\SP-1_SIP_SITE_PLANNING
 LAST SAVED: 12/12/2016 2:30 PM

**CITY PLAN COMMISSION
STAFF REPORT
January 17, 2017**

Landscape Plan

PROJECT SUMMARY

Project:	El Pollo Loco
Location:	1400 E. Belt Line Road Southeast corner of Belt Line Road and Plano Road
Staff Comments:	The landscape plan reflects the development of single-story restaurant with drive through service. The landscape design complies with all applicable zoning, development regulations, and Ordinance 4193.
CPC Action:	Final decision

BACKGROUND

Landscape Area Summary:

Area Required	7% of property (1,960 square feet)
Area Provided	29.74% of property (8,329 square feet)

Landscape Design:

The landscape design features canopy and ornamental trees within the landscape buffer adjacent to Belt Line Road and Plano Road. Canopy and ornamental trees are also provided within the proposed parking areas and in accordance with City Landscaping Policies.

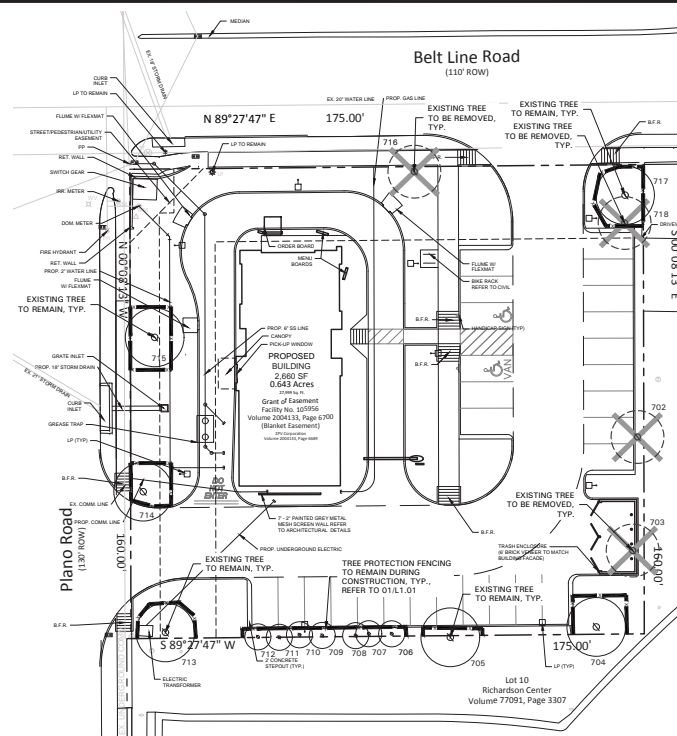
City Landscaping Policies also suggest that shrubs be planted to screen parked vehicles from adjacent roadways and properties. There is no parking located along the streets; however, parking is located along the south and east property lines, abutting the existing Sears parking lot. In this area, there is only a 3-foot wide landscaped area between the parking spaces and the property line.

Staff suggested providing a 2-foot overhang area for vehicles with ornamental grasses along the property line to provide some screening. The applicant has provided the overhang area, but is not proposing to plant anything other than sod along the property line due to the narrow

planting area and because their parking lot is directly adjacent to the ring road and parking lot for Sears. Several trees exist along the south property line, providing partial screening of the parked vehicles; there are no existing trees along the east property line adjacent to the parking lot.

In accordance with the PD conditions, a double row of evergreen shrubs which includes a 42-inch high row of Nellie R. Stevens Holly and an 18-inch high row of Dwarf Burford Holly are provided around the drive-through lane to screen vehicles from the street.

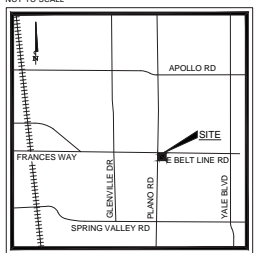
Tree Preservation/Removal: There are currently ten (10) canopy trees on the property and seven (7) ornamental trees on the property. Five (5) Live Oak trees and one (1) Hackberry tree will be preserved; four (4) Live Oak trees will be removed along the north and east property lines to accommodate the new parking lot, walkways, and dumpster pad. Four (4) new canopy trees and thirteen (13) new ornamental trees will be planted.



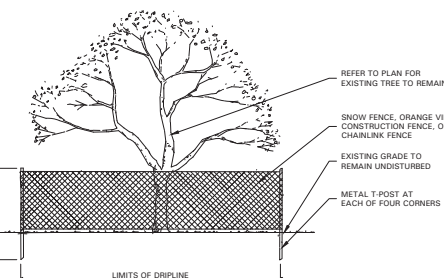
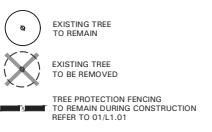
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE 6" WIDTH WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

VICINITY MAP
NOT TO SCALE



EXISTING TREE LEGEND



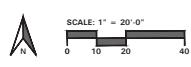
01 TREE PROTECTIVE FENCING
NOT TO SCALE

TREE SURVEY FIELD DATA			
No.	Dia. (inches)	Species (common name)	Status
702	20	LIVE OAK	TO BE REMOVED
703	18	LIVE OAK	TO BE REMOVED
704	10	HACKBERRY	TO REMAIN
705	18	LIVE OAK	TO REMAIN
706		CREPE MYRTLE	TO REMAIN
707		CREPE MYRTLE	TO REMAIN
708		CREPE MYRTLE	TO REMAIN
709		CREPE MYRTLE	TO REMAIN
710		CREPE MYRTLE	TO REMAIN
711		CREPE MYRTLE	TO REMAIN
712		CREPE MYRTLE	TO REMAIN
713	21	LIVE OAK	TO REMAIN
714	17.5	LIVE OAK	TO REMAIN
715	14	LIVE OAK	TO REMAIN
716	24.5	LIVE OAK	TO BE REMOVED
717	21	LIVE OAK	TO REMAIN
718	12	LIVE OAK	TO BE REMOVED

Total Caliper Inches on Site: 178
Total Caliper Inches Removed: 74.5
Total Caliper Inches To Remain: 103.5

SITE DATA SUMMARY

LOT	ZONING	ORDINANCE / CONDITIONS	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG. HGT. (FT)	TLR AREA RATIO		PARKING				LANDSCAPING		
							REQ.	PROV.	REQ. RATIO	REQ.	PROV.	REQ. (7% SITE AREA), SQ FT	PROV.		
12	PD	4193 - ALLOWS RESTAURANT W/ DRIVE THRU SERVICE SEE PD CONDITIONS BELOW	0.643	27,999	2,660	23'-5 1/8" (TOP OF TALLEST ELEMENT) 1 STORY MAX 25'-0" ALLOWED	0.61 MAX	0.10:1	RESTAURANT (1 PER 100 SQ FT)	27	27	1,959.93 SF	8,329 SF	29.74%	



BELLE FIRMA
4248 North Central Express
Suite 501
Dallas, Texas 75206
214.866.7192

TREE PRESERVATION PLAN

LEGAL DESCRIPTION:
RICHARDSON CENTER
LOT 12
0.643 ACRES, 27,999 S.F.
MARY HARGROEDER SURVEY, ABSTRACT NO. 574,
CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

CITY OF RICHARDSON

OWNER:
SALEEM VIRANI
1400 E BELTLINE RD
RICHARDSON, TX 75081

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DR., SUITE #408
BEDFORD, TX 76021
PH: 817.281.0572

SURVEYOR:
AJ BEDFORD GROUP, INC.
301 N ALAM RD
ROCKWALL, TX 75087
PH: 972.722.0225

CITY: DALLAS STATE: TEXAS
CITY OF RICHARDSON

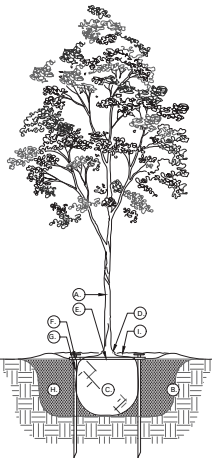
CLAYMOORE ENGINEERING
1903 CENTRAL DR., SUITE #408
BEDFORD, TX 76021
PH: 817.281.0572
WWW.CLAYMOOREENR.COM

**EL POLLO LOCO
1400 E BELT LINE ROAD
RICHARDSON, TX 75081**

NO.	DATE	DESCRIPTION	BY
1	01/11/17	ISSUED FOR PERMIT	MM
2	01/11/17	ISSUED FOR PERMIT	MM
3	01/11/17	ISSUED FOR PERMIT	MM
4	01/11/17	ISSUED FOR PERMIT	MM
5	01/11/17	ISSUED FOR PERMIT	MM
6	01/11/17	ISSUED FOR PERMIT	MM
7	01/11/17	ISSUED FOR PERMIT	MM
8	01/11/17	ISSUED FOR PERMIT	MM
9	01/11/17	ISSUED FOR PERMIT	MM
10	01/11/17	ISSUED FOR PERMIT	MM
11	01/11/17	ISSUED FOR PERMIT	MM
12	01/11/17	ISSUED FOR PERMIT	MM
13	01/11/17	ISSUED FOR PERMIT	MM
14	01/11/17	ISSUED FOR PERMIT	MM
15	01/11/17	ISSUED FOR PERMIT	MM
16	01/11/17	ISSUED FOR PERMIT	MM
17	01/11/17	ISSUED FOR PERMIT	MM
18	01/11/17	ISSUED FOR PERMIT	MM
19	01/11/17	ISSUED FOR PERMIT	MM
20	01/11/17	ISSUED FOR PERMIT	MM

TREE PRESERVATION PLAN

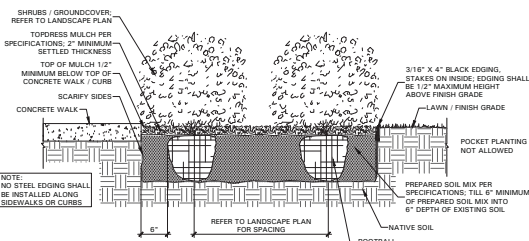
DESIGN: MM
DRAWN: MM
CHECKED: KS
DATE: 8/25/2017
SHEET: L1.01



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE TRUNK SHALL CONFORM WITH LATEST AMERICAN STANDARDS FOR NURSERY STOCK. www.nursery.org
- B. TREE FTI WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL REMOVE TOP 1/8" BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GRIDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GRIDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SETTING PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. "U" BRACKET:
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SETTING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL. DO NOT DISTURB ROOTBALL.
- H. BACKFILL: USE EXISTING NATIVE SOIL (or amended native soil THOROUGHLY TO ELIMINATE AIR POCKETS).
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2" INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING. ENSURE THAT ROOT FLARE IS EXPOSED BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tubley (502) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com
- K. IF APPROVED EQUAL TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY. ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- L. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION SPECIFICATIONS. SPECIFICATIONS AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.

01 TREE PLANTING DETAIL NOT TO SCALE

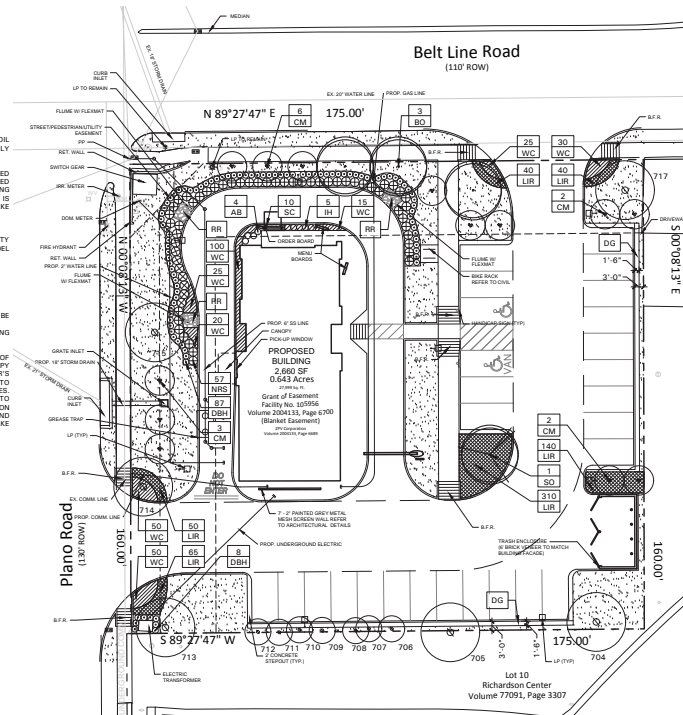


02 SHRUB / GROUND COVER DETAIL NOT TO SCALE

No.	Qty	Species (Common Name)	Status	Remarks
704	10	HACKBERRY	TO REMAIN	
705	18	LIVE OAK	TO REMAIN	
706	1	CREPE MYRTLE	TO REMAIN	
707	1	CREPE MYRTLE	TO REMAIN	
708	1	CREPE MYRTLE	TO REMAIN	
709	1	CREPE MYRTLE	TO REMAIN	
710	1	CREPE MYRTLE	TO REMAIN	
711	1	CREPE MYRTLE	TO REMAIN	
712	1	CREPE MYRTLE	TO REMAIN	
713	21	LIVE OAK	TO REMAIN	
714	17.5	LIVE OAK	TO REMAIN	
715	14	LIVE OAK	TO REMAIN	
717	21	LIVE OAK	TO REMAIN	
Total Caliper Inches to Remain				101.5

EXISTING TREE LEGEND

- EXISTING CANOPY TREE TO REMAIN
- EXISTING ORNAMENTAL TREE TO REMAIN



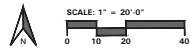
PROPOSED PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
○ BO	<i>Quercus macrocarpa</i>	Bur Oak	3	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
○ SO	<i>Quercus shumardi</i>	Shumard Red Oak	1	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
○ CM	ORNAMENTAL TREES <i>Laperousea indica 'Natchez'</i>	Cape Myrtle 'Natchez'	13	30 gal.	container grown, 3-5 trunk, no cross cenes, 8' ht., 4' spread, matching
○ SHRUBS					
○ AB	<i>Abelia grandiflora 'Edward Goucher'</i>	Dwarf Abelia 'Edward Goucher'	4	5 gal.	container full, 24" spread, 24" o.c.
○ DBH	<i>Dwarf Burford Holly</i>	Dwarf Burford Holly	95	5 gal.	container full, 24" spread, 24" o.c., 18" ht. min. at time of planting
○ IH	<i>Ilex pedunculata 'Clara'</i>	Indian Hawthorne 'Clara'	5	5 gal.	container full, 20" spread, 24" o.c.
○ NRS	<i>Nellie R. Stevens</i>	Nellie R. Stevens Holly	57	7 gal.	container full to base, 35" o.c., 42" ht. min. at time of planting
○ GROUNDCOVER					
○ LIR	<i>Ligustrum lucidum 'Big Blue'</i>	Liriope 'Big Blue'	645	4" pots	container full top of container, 12" o.c.
○ SC		Seasonal Color	10	4" pots	container full, 12" o.c., selection by Owner
○ WC	<i>Eunymia fortunei 'Calceolaria'</i>	Wintercreeper	315	4" pots	container (3) 12" runners min., 12" o.c.
○ CY	<i>Cynodon dactylon</i>	Common Bermudagrass			refer to notes
○ MISCELLANEOUS					
○ RR		Colorado River Rock			1" - 3" dia., 4" depth with weed barrier fabric, typ
○ DG		Decomposed Granite			4" depth, compacted in 1" lifts with weed barrier fabric, typ.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

SITE DATA SUMMARY

LOT	ZONING	ORDINANCE / CONDITIONS	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLOG. AREA (SQ. FT.)	BLDG. HGT. (FT)	FLR AREA RATIO		PARKING		LANDSCAPING			
							REQ.	PROV.	REQ. RATIO	REQ.	PROV.	REQ. (% SITE AREA), SQ. FT.	PROV.	
12	PD	4193 - ALLOWS RESTAURANT W/ DRIVE THRU SERVICE SEE PD CONDITIONS BELOW	0.643	27,999	2,660	23'-5 1/8" (TOP OF TALLEST ELEMENT) 1 STORY MAX 25'-0" ALLOWED	0.6:1 MAX	0.10:1	RESTAURANT (1 PER 100 SQ FT)	27	27	1,959.93 SF	8,329 SF	29.74%



CITY OF RICHARDSON LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
2. ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS BY STEEL EDGING.
3. THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
4. LANDSCAPE MATERIAL WITHIN DESIGNATED SITE VISIBILITY TRIANGLES AND PARKING ISLANDS MUST BE LESS THAN 24" IN HEIGHT FOR GROUND COVER AND SHRUBS AND LOWER TREE LIMBS MUST BE A MINIMUM OF 7' FROM THE ADJACENT GROUND.

LANDSCAPE NOTES

1. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS. WALKS OR CURBS: CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
2. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

LANDSCAPE TABULATIONS

THE CITY OF RICHARDSON, TEXAS

SITE REQUIREMENTS: 7% of total site area shall be landscape, for total building area < 75,000 s.f.

Total Building Area: 2,660 s.f.
Total Site Area: 27,999 s.f.
Required: 1,959.93 s.f. (7%) Provided: 8,329 s.f. landscape (29.74%)

PARKING AREA REQUIREMENTS: 20% of the required landscaping to be installed to the parking area.

Required: 392 s.f. (20%) Provided: 1,172 s.f. (49%)

LANDSCAPE POLICY

LANDSCAPE BUFFER: A 10' wide landscape buffer adjacent to all streets shall have one (1) canopy tree and one (1) ornamental tree per 50 l.f.

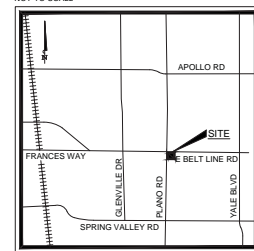
PLANO ROAD: 160 l.f.
Required: 10' landscape buffer (3) canopy trees (3) ornamental trees

BELT LINE ROAD: 175 l.f.
Required: 10' landscape buffer (4) canopy trees (3) canopy trees (4) ornamental trees

PARKING LOT SCREEN: Screening required for parking areas adjacent to the street.
Required: 30' ht. opaque screen
Provided: 30' ht. evergreen shrubs

DRIVE THRU LANE (PD ZONING): An evergreen landscape screen shall shield vehicle headlight beams from Belt Line Road and Plano Road at the vehicle travels through the drive thru lane. Said landscape screen shall include a two (2) tiered planting design, min. 42" ht. at time of planting, with secondary plant material min. 18" ht. at time of planting.
Required: Evergreen screen
Provided: Evergreen screen 42" and 18" ht.

VICINITY MAP NOT TO SCALE



GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADES APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL MAINTAIN ALL ROCKS 3/4" DIAMETER AND LARGER REMOVE ALL STICKS, CONCRETE SPILLS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR SICK AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER SEED BERMUDDAGRASS SOD WITH WINTER RYEGRASS. AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE PLAN

LEGAL DESCRIPTION:

RICHARDSON CENTER
LOT 12
0.643 ACRES, 27,999 S.F.
MARY HARGROEDER SURVEY, ABSTRACT NO. 574,
CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

CITY OF RICHARDSON

OWNER:

SALEEM VIRANI
1400 E BELTLINE RD
RICHARDSON, TX 75081

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DR., SUITE #408
BEFORD, TX 76021
PH 817.281.0572

SURVEYOR:

AJ BEFORD GROUP, INC.
301 N ALAM RD
ROCKWALL, TX 75087
PH 972.722.0225

CITY:

CITY OF RICHARDSON

STATE:

TEXAS



EL POLLO LOCO
1400 E BELT LINE ROAD
RICHARDSON, TX 75081

NO.	DATE	DESCRIPTION
1	08/20/2014	ISSUED FOR PERMITS
2	08/20/2014	ISSUED FOR PERMITS
3	08/20/2014	ISSUED FOR PERMITS
4	08/20/2014	ISSUED FOR PERMITS
5	08/20/2014	ISSUED FOR PERMITS
6	08/20/2014	ISSUED FOR PERMITS
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8	08/20/2014	ISSUED FOR PERMITS
9	08/20/2014	ISSUED FOR PERMITS
10	08/20/2014	ISSUED FOR PERMITS

LANDSCAPE PLAN

DESIGN	MD
DESIGN	MD
DESIGN	MD
CHECKED	KAC
DATE	8/25/2014
SHEET	
L2.01	

FIG. NO. 2014-001

**CITY PLAN COMMISSION
BACKGROUND INFORMATION
January 17, 2017**

Building Elevations

PROJECT SUMMARY

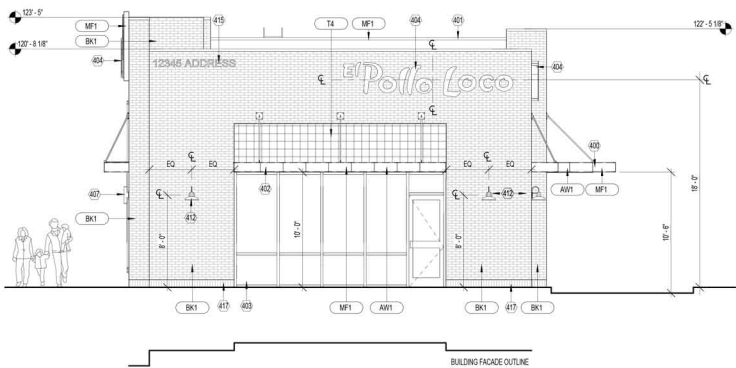
Project:	El Pollo Loco
Location:	1400 E. Belt Line Road Southeast corner of Belt Line Road and Plano Road
Staff Comments:	The proposed building elevations reflect the development of a single-story, 2,660-square foot restaurant with drive through service. The proposed design is consistent with the concept façade elevations of Ordinance 4193.
CPC Action:	Final decision

BACKGROUND

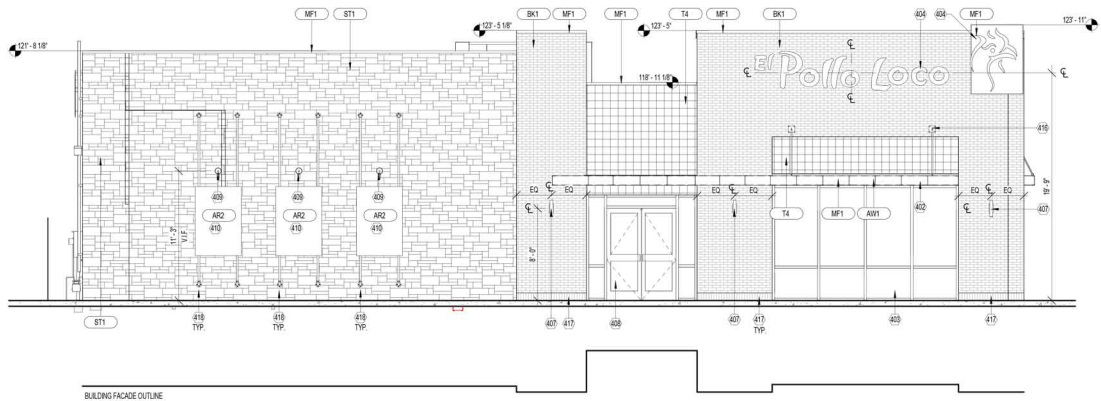
Proposed Design:

Building Materials

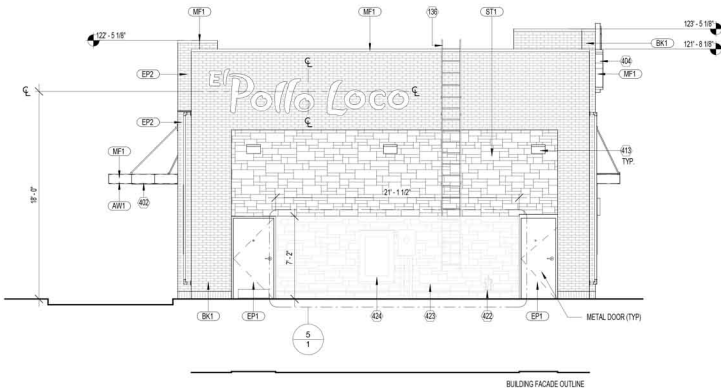
The proposed building will be constructed with approximately 93% masonry materials, with each individual elevation containing at least 89% masonry materials. Proposed building materials include red thin brick (PD allowed thin brick to count as masonry), gray stone, multi-color tiles with storefront glass and metal accent materials, including canopies and parapet coping. Along the south side of the building, a 7-foot tall metal mesh screen will be provided to screen wall mounted utilities in accordance with the PD Planned Development.



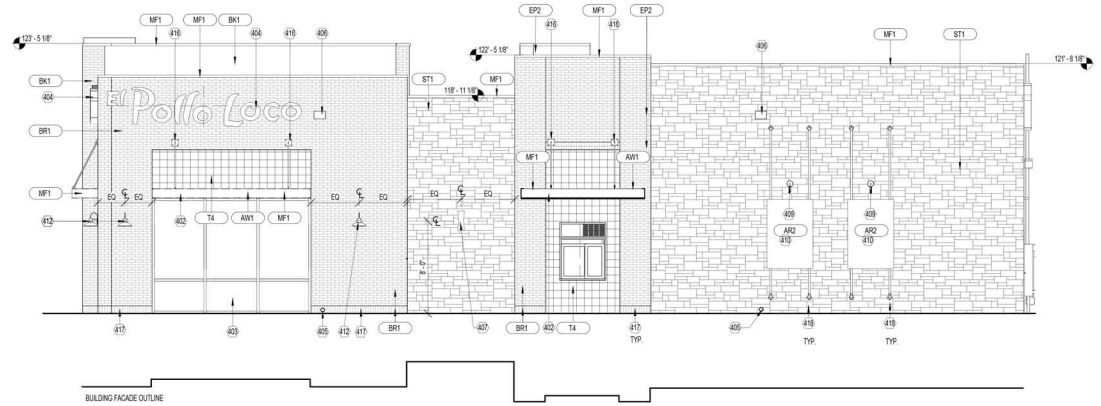
1 NORTH ELEVATION
3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"



3 WEST ELEVATION
3/16" = 1'-0"

NOTE: ALL SIGNAGE IS SUBJECT TO REVIEW AND APPROVAL BY THE BUILDING INSPECTIONS DEPARTMENT



AMETCO PERFORATED METAL STEEL FENCING, POWDER-COATED GRAY TO MATCH

SCREEN WALL SAMPLE IMAGE

5 SCREEN WALL DETAIL
3/4" = 1'-0"

KEYNOTE LEGEND - NEW

136	EXTERIOR ROOF LADDER.
400	(2) RECESSED CAN LIGHTS (LF-16) AT DRIVE-THRU AWNING PROVIDED BY CANOPY VENDOR.
401	EQUIPMENT SCREENED FROM PEDESTRIANS BY PARAPET.
402	NEW CANOPY BY OTHERS. VENDOR TO SLOPE CANOPY AWAY FROM BUILDING (TYP). GC TO PROVIDE JUNCTION BOX AT CENTER OF CANOPY FOR INTEGRAL LIGHTING IN CANOPY.
403	STOREFRONT GLAZING. MULLIONS TO ALIGN WITH CHAIR RAIL ON INTERIOR (TYP).
404	SIGNAGE BY OWNER VENDOR. BLOCKING AND POWER BY GC. SEPARATE PERMIT. TYP.
405	ROOF DRAIN PIPE DISCHARGE AT FACE OF CURB BEYOND TYP. SEE DETAIL 2/A1.40.
406	OVERFLOW SCUPPER AT FACE OF WALL BEYOND TYP. SEE CIVIL DWG. SEE DETAIL 1/A1.40.
407	NEW LF-12 FIXTURE. TYP. (DARK BRONZE)
408	STOREFRONT GLASS DOOR.
409	NEW LF-14 FIXTURE. TYP.
410	MARQUEE BOARD BY OTHERS. GC TO PROVIDE BLOCKING AS REQUIRED.
412	NEW LF-13 FIXTURE. TYP.
413	SECURITY LIGHTING FIXTURES. TYP. (BLACK)
415	ADDRESS NUMBERS AT 8' HT. TO BE ILLUMINATED BY ADJACENT SITE LIGHT (MINIMUM 5 FOOT CANDLES).
416	BRACKETS FALL ON BRICK AND NOT ON TILE.
417	FIRST COURSE IS SOLDIER COURSE.
418	SUPPORT POSTS BY OTHERS.
422	GAS METER.
423	METAL MESH SCREEN. PAINT GREY.
424	ELECTRICAL METERS. RE. ELECTRICAL.

LEGEND

ST1	ELDORADO STONE RIDGETOP18 BLACKHAWK (GRAY)
EP1	DUNN EDWARDS - DE5390 CHOCOLATE PUDDING EXTERIOR GRADE EGGSHELL FINISH (TO MATCH STONE)
BK1	McNear BRICK & BLOCK - THIN BRICK. SAND MOLD SERIES (TIVOLI) (RED). CONTACT: RESOURCE BUILDING MATERIALS (449) 855-6994 MORTAR: SPEC MIX TYPE #213 SLATE, JOINT WIDTH 3/8"
T4	CEMENT TILE SHOP - PACIFIC CLASS COLLECTION. PATCHWORK 6" X 8" RANDOMLY MIX THE FOLLOWING COLORS: 25% BLACK & WHITE, 25% RED, 25% BLUE, 25% YELLOW CONTACT: CUSTOMER SERVICE (800) 704-2701 GROUT: MAPEI 19 PEARL GRAY, JOINT WIDTH ±1/16"
MF1	HOT-ROLLED STEEL - DARK BRONZE
AW1	AWNINGS BY VENDOR. FINISH TO MATCH MF-1

SOUTH ELEVATION	SF CALCULATIONS
BRICK	334
STONE	303
TILE	0
GLAZING DOORS	80
TOTAL (LESS GLAZING DOORS)	757 (867)
MASONRY %	100%

EAST ELEVATION	SF CALCULATIONS
BRICK	543
STONE	116
TILE	144
GLAZING DOORS	198
TOTAL (LESS GLAZING DOORS)	1,701 (1,503)
MASONRY %	90%

NORTH ELEVATION	SF CALCULATIONS
BRICK	554
STONE	0
TILE	0
GLAZING DOORS	137
TOTAL (LESS GLAZING DOORS)	701 (846)
MASONRY %	89%

WEST ELEVATION	SF CALCULATIONS
BRICK	604
STONE	636
TILE	117
GLAZING DOORS	138
TOTAL (LESS GLAZING DOORS)	1,753 (1,817)
MASONRY %	92%

*THIN BRICK IS ALLOWABLE MASONRY MATERIAL PER ORD. 4103

TOTALS OF ALL ELEVATIONS	89%
--------------------------	-----



106 West 11th Street
Suite 1900
Kansas City, Missouri 64105
Phone : 816-842-7552
Fax : 816-842-1302

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EL POLLO LOCO
RICHARDSON
1400 E. BELLVIEW ROAD
RICHARDSON, TX 75081

BID & PERMIT
12-19-16

REVISIONS		
NO.	DATE	DESCRIPTION

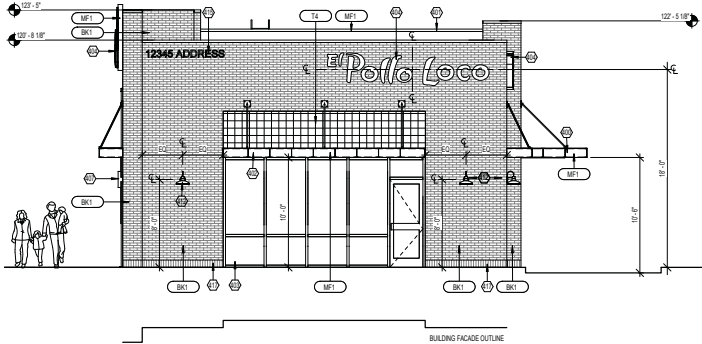
PROJECT # 16635

BUILDING ELEVATIONS

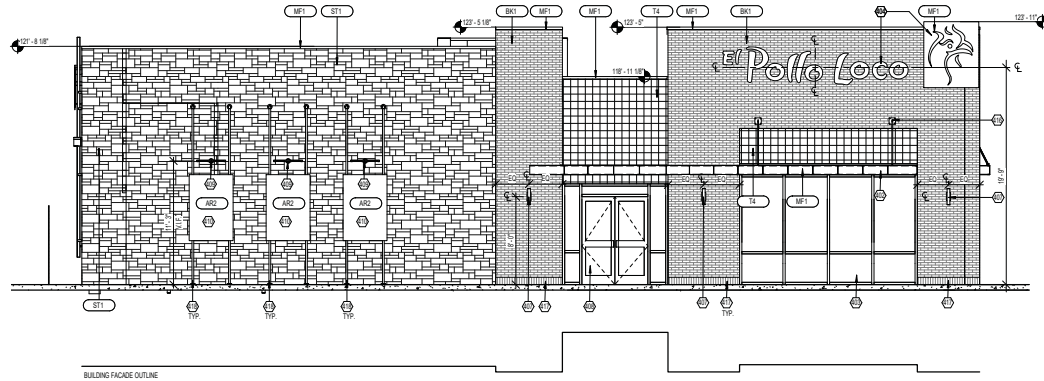
SHEET NUMBER

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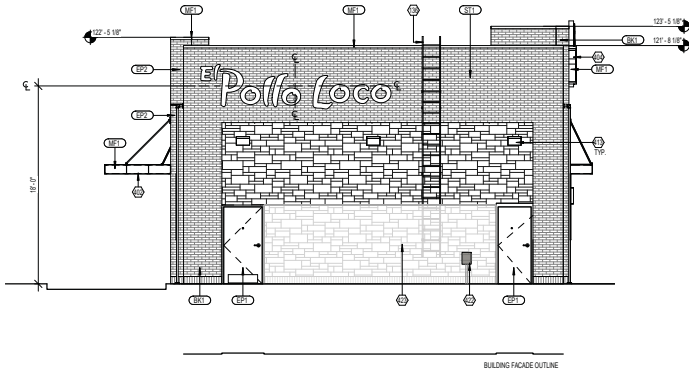
**Concept Elevations
Ordinance 4193**



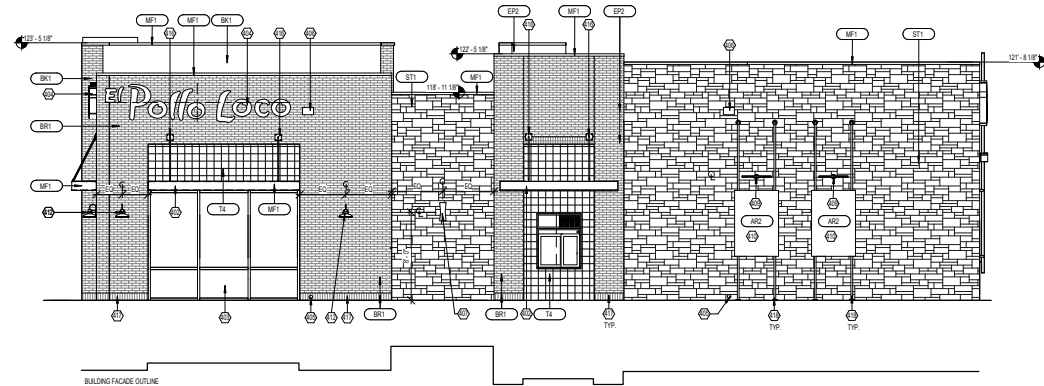
1 NORTH ELEVATION - EXHIBIT
3/16" = 1'-0"



2 EAST ELEVATION - EXHIBIT
3/16" = 1'-0"



4 SOUTH ELEVATION - EXHIBIT
3/16" = 1'-0"



3 WEST ELEVATION - EXHIBIT
3/16" = 1'-0"

NOTE: ALL SIGNAGE IS SUBJECT TO REVIEW AND APPROVAL BY THE BUILDING INSPECTION DEPARTMENT

KEYNOTE LEGEND - NEW	
136	EXTERIOR ROOF LADDER
400	(IF NECESSARY) CAN LIGHTS (LF-16) AT DRIVE-THRU AWNING PROVIDED BY CANOPY VENDOR
401	EQUIPMENT SCREENED FROM PEDESTRIANS BY PARAPET
402	NEW CANOPY BY OTHERS: VENDOR TO SLOPE CANOPY AWAY FROM BUILDING (TYP). GC TO PROVIDE JUNCTION BOX AT CENTER OF CANOPY FOR INTEGRAL LIGHTING IN CANOPY
403	STOREFRONT GLAZING: MULLIONS TO ALIGN WITH CHAIR RAIL ON INTERIOR (TYP).
404	SIGNAGE BY OWNER VENDOR. BLOCKING AND POWER BY GC. SEPARATE PERMIT. TYP.
405	ROOF DRAIN PIPE DISCHARGE AT FACE OF CURB BEYOND TYP. SEE DETAIL 2/A1.40
406	OVERFLOW SCUPPER AT FACE OF WALL BEYOND TYP. SEE CIVIL DWG. SEE DETAIL 1/A1.40
407	NEW LF-12 FIXTURE, TYP.
408	STOREFRONT GLASS DOOR
409	NEW LF-14 FIXTURE, TYP.
410	MARQUEE BOARD BY OTHERS. GC TO PROVIDE BLOCKING AS REQUIRED.
412	NEW LF-13 FIXTURE, TYP.
413	SECURITY LIGHTING FIXTURES, TYP.
415	ADDRESS NUMBERS AT 8" HT. TO BE ILLUMINATED BY ADJACENT SITE LIGHT (MINIMUM 5 FOOT CANDLES).
416	BRACKETS FALL ON BRICK AND NOT ON TILE
417	FIRST COURSE IS SOLDIER COURSE
418	SUBROOF FROSTS BY OTHERS.
422	GAS METER
423	METAL MESH SCREEN: PAINT GREY.

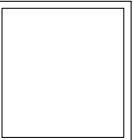
LEGEND

- (STI) STONE - GRAY
- (BKI) PAINT - GRAY (TO MATCH STONE)
- (BKI) BRICK - RED
- (TI) TILE - PATCHWORK 6" X 6" RANDOMLY MIX THE FOLLOWING COLORS: 25% BLACK & WHITE, 25% RED, 25% BLUE, 25% YELLOW
- (MT) HOT-ROLLED STEEL - DARK BRONZE
- (BWT) AWNINGS BY VENDOR. FINISH TO MATCH MF-1

SOUTH ELEVATION		SF CALCULATIONS		EAST ELEVATION		SF CALCULATIONS	
BRICK	384	BRICK	340	BRICK	340		
STONE	0	STONE	896	STONE	896		
TILE	60	TILE	144	TILE	117		
GLAZINGDOORS	137	GLAZINGDOORS	198	GLAZINGDOORS	138		
TOTAL LESS GLAZINGDOORS	701 (884)	TOTAL LESS GLAZINGDOORS	1,791 (1,588)	TOTAL LESS GLAZINGDOORS	1,751 (1,611)		
MASONRY %	89%	MASONRY %	90%	MASONRY %	92%		

NORTH ELEVATION		SF CALCULATIONS		WEST ELEVATION		SF CALCULATIONS	
BRICK	0	BRICK	624	BRICK	624		
STONE	687	STONE	676	STONE	676		
TILE	0	TILE	117	TILE	117		
GLAZINGDOORS	60	GLAZINGDOORS	138	GLAZINGDOORS	138		
TOTAL LESS GLAZINGDOORS	757 (887)	TOTAL LESS GLAZINGDOORS	1,555 (1,611)	TOTAL LESS GLAZINGDOORS	1,555 (1,611)		
MASONRY %	100%	MASONRY %	92%	MASONRY %	92%		

TOTALS OF ALL ELEVATIONS	90%	MASONRY % OF TOTAL	90%
--------------------------	-----	--------------------	-----



106 West 11th Street
Suite 1900
Kansas City, Missouri 64105
Phone : 816-842-7552
Fax : 816-842-1302



EL POLLO LOCO
RICHARDSON
1400 E. BELTLINE ROAD
RICHARDSON, TX 75081

BID & PERMIT
10-07-16

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT # 16635

EXHIBIT C

SHEET NUMBER

EX C

Agenda Item 3

**Final Plat:
Routh Woods Addition**

Routh Woods Addition Lot 1, Block A

Attachments:

1. Locator Map
2. Final Plat Staff Report
3. Final Plat



Routh Woods Addition
Lot 1, Block A



**CITY PLAN COMMISSION
BACKGROUND INFORMATION
January 17, 2017**

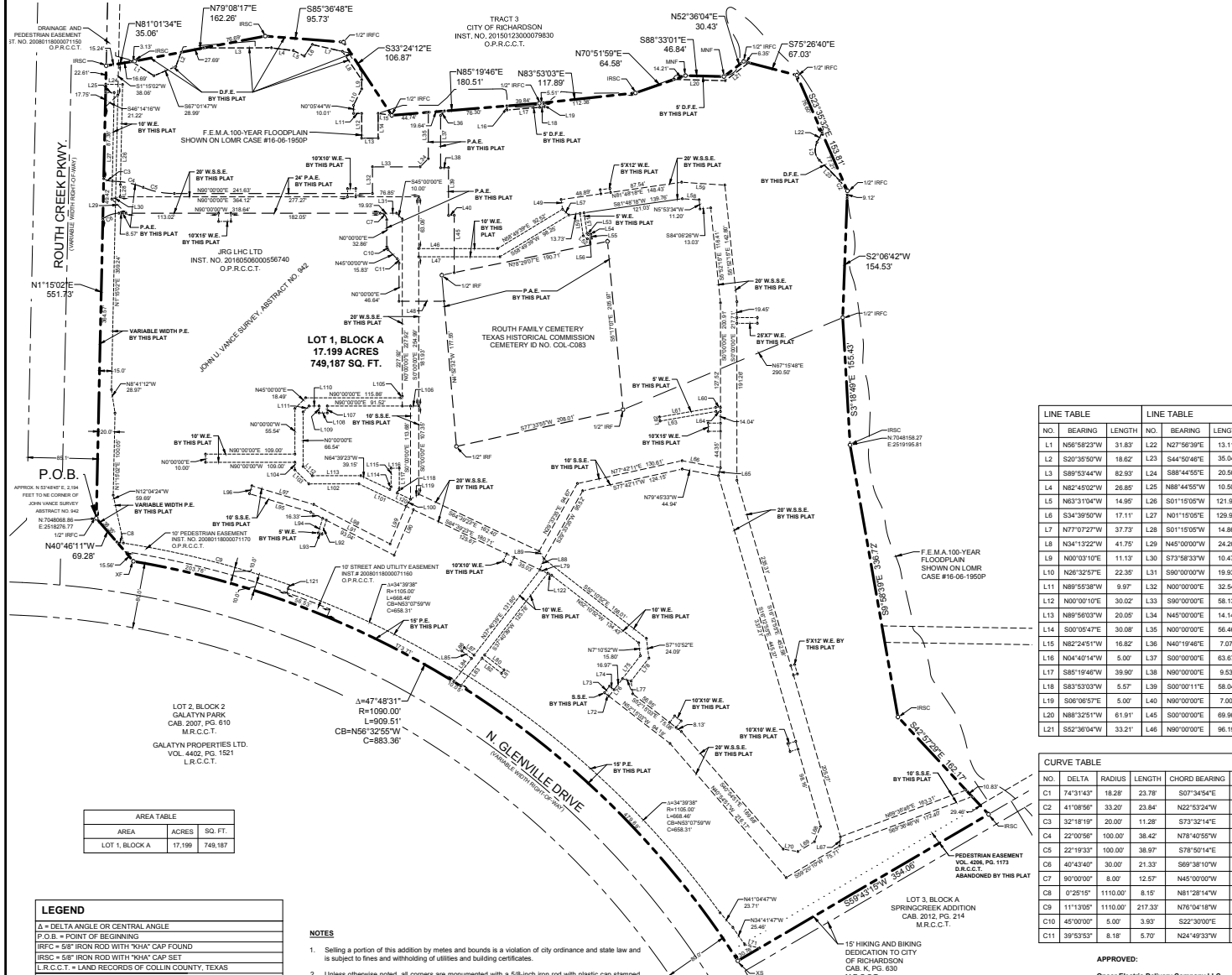
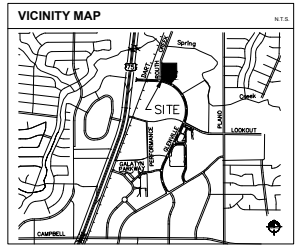
Final Plat

PROJECT SUMMARY

Subdivision:	Routh Woods Addition, Lot 1, Block A <i>being a final plat of a 17.199-acre tract of land</i>
Location:	2710 Routh Creek Parkway
Staff Comments:	<p>The purpose of the final plat is to create a single lot and dedicate easements to accommodate the construction of a 3 and 4-story, 454-unit multi-family community.</p> <p>The final plat complies with City zoning and subdivision regulations.</p>
CPC Action:	Final decision

BACKGROUND

Tract Size:	17.199 acres (749,187 square feet)
Zoning:	PD Planned Development (Ordinance 4093)
Easements/Setbacks:	
Existing to Remain	10' street and utility easement along Glenville Drive
Dedicated by this Plat	10' water line easements throughout the property; 10' sanitary sewer easements throughout the property; 20' water and sanitary sewer easement throughout the property; Variable width pedestrian easement along Routh Creek Parkway and a 15' pedestrian easement along Glenville Drive; Variable width drainage and floodplain easement north and east sides of the property; and a Variable width public access easement to provide access to the cemetery at the center of the property;
Abandoned by this Plat	15' pedestrian easement along southeast property line.



LOT 1, BLOCK A
17.199 ACRES
749,187 SQ. FT.

Δ=47°48'31"
R=1080.00
CB=N56°32'55"W
C=883.36

AREA TABLE		
AREA	ACRES	SQ. FT.
LOT 1, BLOCK A	17.199	749,187

LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N56°58'23"W	31.83	L22	N27°56'39"E	13.11	L47	N80°00'00"W	98.98	L68	N21°33'37"E	19.91	L89	S32°26'51"E	11.32
L2	S20°35'50"W	18.62	L23	S44°50'46"E	35.04	L48	N89°59'02"W	54.88	L69	N59°20'10"E	23.48	L90	S23°04'53"W	60.22
L3	S89°53'44"W	82.93	L24	S88°44'55"E	20.50	L49	N08°06'47"W	11.94	L70	S80°45'54"E	18.06	L91	N62°43'42"E	114.45
L4	N82°45'02"W	26.85	L25	N88°44'55"W	10.50	L50	S08°11'42"E	27.52	L71	N77°08'49"W	18.57	L92	S12°00'01"W	17.77
L5	N63°31'04"W	14.99	L26	S01°15'05"W	121.97	L51	N08°11'42"W	25.45	L72	N52°15'03"W	7.00	L93	N72°59'59"W	5.00
L6	S34°39'50"W	17.11	L27	N01°15'05"E	129.94	L52	S63°11'42"E	6.31	L73	N37°44'57"E	10.00	L94	N17°00'01"E	18.68
L7	N77°07'27"W	37.73	L28	S01°15'05"W	14.86	L53	N53°11'42"E	2.17	L74	S52°18'03"E	7.00	L95	N73°11'36"W	78.08
L8	N34°13'22"W	41.75	L29	N45°00'00"W	24.20	L54	S81°48'18"W	3.09	L75	N39°49'06"E	35.47	L96	N17°01'36"E	10.00
L9	N00°03'10"E	11.13	L30	S73°58'33"W	10.47	L55	N08°11'42"W	5.00	L76	N37°39'27"E	26.97	L97	S73°11'36"E	78.95
L10	N28°32'67"E	22.35	L31	S90°00'00"W	19.93	L56	N81°48'18"E	5.16	L77	S44°44'19"E	10.83	L98	S62°43'42"E	104.61
L11	N89°55'38"W	9.97	L32	N00°00'00"E	32.54	L57	S47°34'55"E	10.42	L78	S37°49'08"W	35.46	L99	N23°04'53"E	49.85
L12	N00°00'10"E	30.02	L33	S90°00'00"E	58.13	L58	S86°11'39"E	20.58	L79	S84°39'23"E	10.24	L100	S32°27'00"W	10.08
L13	N89°56'03"W	20.05	L34	N45°00'00"E	14.14	L59	S86°11'39"E	52.82	L80	S52°19'21"E	30.00	L101	N84°39'23"W	63.85
L14	S30°05'47"E	30.08	L35	N60°00'00"E	56.40	L60	S88°29'01"E	5.82	L81	S37°40'39"W	5.00	L102	N90°00'00"W	61.03
L15	N82°24'51"W	16.82	L36	N40°19'48"E	7.07	L61	N80°15'99"E	69.57	L82	N52°19'21"W	30.00	L103	N45°00'00"W	24.10
L16	N40°40'14"W	5.00	L37	S00°00'00"E	63.67	L62	N69°44'01"W	5.00	L83	S37°40'39"W	42.63	L104	N00°00'00"E	9.28
L17	S85°19'46"W	39.90	L38	N90°00'00"E	9.55	L63	S80°15'99"E	69.08	L84	N37°40'39"E	35.65	L105	N45°00'00"E	2.93
L18	S83°53'03"W	5.67	L39	S00°01'11"E	98.04	L64	N88°29'01"W	5.46	L85	S52°19'21"E	15.00	L106	N90°00'00"E	20.00
L19	S06°05'7"E	5.00	L40	N90°00'00"E	7.00	L65	S41°09'04"W	10.02	L86	N37°40'39"W	5.00	L107	S00°00'00"E	8.38
L20	N88°32'51"W	61.91	L41	S00°00'00"E	69.90	L66	S79°45'33"E	47.82	L87	N52°19'21"W	15.00	L108	S90°00'00"W	10.00
L21	S52°36'04"W	33.21	L46	N90°00'00"E	96.19	L67	S05°50'55"W	11.15	L88	N20°38'15"E	14.01	L109	N00°00'00"E	8.38

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	74°31'43"	18.28	23.78	S07°34'54"E	22.14
C2	41°08'56"	33.20	23.84	N22°53'24"W	23.34
C3	32°18'19"	20.00	11.28	S73°32'14"E	11.13
C4	22°00'58"	100.00	38.42	N78°40'55"W	38.19
C5	22°19'33"	100.00	38.97	S78°50'14"E	38.72
C6	40°43'40"	30.00	21.33	S69°38'10"W	20.88
C7	90°00'00"	8.00	12.57	N45°00'00"W	11.31
C8	0°25'15"	1110.00	8.16	N81°28'14"W	8.19
C9	11°13'00"	1110.00	217.33	N76°04'18"W	216.89
C10	45°00'00"	5.00	3.93	S22°30'00"E	3.83
C11	39°53'53"	8.16	5.70	N24°49'33"W	5.58

LEGEND

Δ = DELTA ANGLE OR CENTRAL ANGLE
P.O.B. = POINT OF BEGINNING
IRFC = 5/8" IRON ROD WITH "KHA" CAP FOUND
IRSC = 5/8" IRON ROD WITH "KHA" CAP SET
L.R.C.C.T. = LAND RECORDS OF COLLIN COUNTY, TEXAS
M.R.C.C.T. = PLAT RECORDS OF COLLIN COUNTY, TEXAS
O.P.R.C.C.T. = OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
CAB. = CABINET
VOL. = VOLUME
PG. = PAGE
INST. NO. = INSTRUMENT NUMBER
D.F.E. = DRAINAGE & FLOODPLAIN EASEMENT
W.S.S.E. = WATER & SANITARY SEWER EASEMENT
P.A.E. = PUBLIC ACCESS EASEMENT
W.E. = WATER EASEMENT
S.S.E. = SANITARY SEWER EASEMENT
P.E. = PEDESTRIAN EASEMENT

NOTES

- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building certificates.
- Unless otherwise noted, all corners are monumented with a 5/8-inch iron rod with plastic cap stamped "KHA".
- All bearings shown are relative to grid north of the Texas Coordinate System of 1983 based on the City of Richardson Control Monument System (North Central Zone 4202). All dimensions shown are ground distances.

FLOOD STATEMENT:

According to Community Panel No. 4808500503, dated JUNE 2, 2008 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion this property is within a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, ground surface and soil conditions and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

APPROVED:
Oncor Electric Delivery Company LLC
APPROVED FOR DISTRIBUTION ONLY

By: _____
Date: _____

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
12750 MERTT DRIVE, SUITE 1000
DALLAS, TEXAS 75251
CONTACT: MATT LUCKAS, P.E.
PHONE: 972-770-1372

OWNER/APPLICANT:
JRG INC. LLC
600 LAS COLINAS BLVD., SUITE 1800
IRVING, TEXAS 75039
CONTACT: MIKE SILVANI
PHONE: 972-373-3931

ROUTH WOODS ADDITION
LOT 1, BLOCK A
BEING 17.199 ACRES, 749,187 SQ. FT.
OUT OF THE JOHN U. VANCE SURVEY,
ABSTRACT NO. 942
CITY OF RICHARDSON,
COLLIN COUNTY, TEXAS
ADDRESS: 2710 ROUTH CREEK PKWY

Kimley»Horn

12750 MERTT Drive, Suite 1000
Dallas, Texas 75251 FIRM # 10115500 Tel. No. (972) 770-1300
Fax No. (972) 238-3920

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	MTC	DAB	JAN 2017	064446433	1 OF 2

STATE OF TEXAS §
COUNTY OF COLLIN §
CITY OF RICHARDSON §

WHEREAS, JRG LHC, LLC, a Texas limited liability company, is the owner of a tract of land situated in the John U. Vance Survey, Abstract No. 942, City of Richardson, Collin County, Texas and being part of a tract of land described in Special Warranty Deed to JRG LHC, LLC, recorded in Instrument No. 20160506000556740, Official Public Records, Collin County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "BW2" found at the north corner of a right-of-way corner clip for the intersection of the east right-of-way line of Routh Creek Parkway (a variable width right-of-way) with the north right-of-way line of Glenview Drive (a 80-foot right-of-way);

THENCE with said east right-of-way line, North 1°15'02" East, a distance of 551.73 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for a southwest corner of a tract of land described as Tract 3 in Special Warranty Deed to the City of Richardson, recorded in Instrument No. 20150123000079830, of said Official Public Record;

THENCE with the south line of said Tract 3, The following courses and distances, to wit:

North 81°01'34" East, a distance of 35.06 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
North 79°08'17" East, a distance of 162.26 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
South 85°36'49" East, a distance of 165.73 feet to a 1/2-inch iron rod with plastic cap stamped "BW2" found;
South 33°24'12" East, a distance of 106.87 feet to a 1/2-inch iron rod with plastic cap stamped "BW2" found;
North 85°19'49" East, a distance of 180.51 feet to a 1/2-inch iron rod with plastic cap stamped "BW2" found;
North 83°53'01" East, a distance of 117.86 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
North 70°51'59" East, a distance of 64.58 feet to a mag nail found;
South 88°33'01" East, a distance of 46.84 feet to a mag nail found;
North 52°38'04" East, a distance of 30.43 feet to a 1/2-inch iron rod with plastic cap stamped "BW2" found;
South 75°26'40" East, a distance of 67.03 feet to a 1/2-inch iron rod with plastic cap stamped "BW2" found;
South 23°35'52" East, a distance of 153.81 feet to a 1/2-inch iron rod with plastic cap stamped "BW2" found;
South 2°08'42" West, a distance of 154.63 feet to a 1/2-inch iron rod with plastic cap stamped "BW2" found;
South 3°18'49" East, a distance of 155.43 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
South 9°28'39" East, a distance of 236.72 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
South 42°57'39" East, a distance of 162.17 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set in the northwest line of a 16' Hiking and Biking Dedication to the City of Richardson, shown on the plat of Springcreek Addition Lots 1 & 2, Block A, an addition to the City of Richardson, Texas, recorded in Cabinet K, Page 630, Map Records, Collin County, Texas, and at the southernmost corner of said Tract 3;

THENCE with said northwest line, South 59°43'15" West, a distance of 354.06 feet to a "X" cut in concrete set in the said north right-of-way line of said Glenview Drive at the northwest corner of said 15' Hiking and Biking Dedication and being at the beginning of a non-tangent curve to the left having a central angle of 47°49'31", a radius of 1050.00 feet, a chord bearing and distance of North 56°32'05" West, 683.36 feet;

THENCE with said north right-of-way line and in a northwesterly direction, with said curve to the left, an arc distance of 509.51 feet to a "X" cut in concrete found at the southeast of said right-of-way corner clip;

THENCE with said right-of-way corner clip, North 40°46'11" West, a distance of 69.28 feet to the **POINT OF BEGINNING** and containing 17,199 acres or 745,197 square feet of land.

NOTES

- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building certificates.
- Unless otherwise noted, all corners are monumented with a 5/8-inch iron rod with plastic cap stamped "KHA".
- All bearings shown are relative to grid north of the Texas Coordinate System of 1983 based on the City of Richardson Control Monument System (North Central Zone 4202). All dimensions shown are ground distances.

FLOOD STATEMENT:

According to Community Panel No. 48085C05051, dated JUNE 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

FLOODWAY AND DRAINAGE EASEMENT:

This plat is approved by the City Planning Commission of the City of Richardson, Texas and accepted by the Owner, subject to the following conditions, which shall be binding upon the Owner, his heirs, grantees, successors and assigns:

The creek(s) or drainage channel(s) within the limits of this plat will remain as an open channel at all times and will be maintained by the abutting Property Owner(s). The City of Richardson will not be responsible for the maintenance and operation of said creek(s) or channel(s) or for any damage to private property or persons that results from the flow of water along said creek(s) or channel(s), or for the control of erosion.

The limits of the creek(s) and/or drainage channel(s) are defined by the Floodway and Drainage easement line, as shown on this plat.

No obstruction to the natural flow of storm water run-off shall be permitted by filling or by construction of any type of dam, building, bridge, fence, walkway, or any other structure within the creek(s) or drainage channel(s) as defined by the Floodway and Drainage Easement. Provided, however, it is understood that in the event it becomes necessary for the City of Richardson to erect any type of drainage structure in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, the City of Richardson shall have the right to enter upon the Floodway and Drainage easement at any point, or points, to erect, construct, and maintain any drainage facility deemed necessary for drainage purposes. The abutting property owner(s) shall keep the creek(s) and/or drainage channel(s) traversing or adjacent to his property clean and free of debris, silt and any substance which would result in unsanitary conditions, and the City of Richardson shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur.

The creek(s) or drainage channel(s), as in the case of all open channels, are subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The City of Richardson shall not be liable for any damage resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within or adjacent to the creek(s) or drainage channel(s).

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §
CITY OF RICHARDSON §

I, JRG LHC, LLC, a Texas limited liability company, being the owners of the herein-after described property, acting by and through its duly authorized agent, do hereby adopt this plat designating the herein described property as **ROUTH WOODS ADDITION, LOT 1, BLOCK A**, an addition to the City of Richardson, Collin County, Texas. I do hereby dedicate to the public use forever the streets and alleys shown hereon. The easements shown thereon are hereby reserved for purposes as indicated. The utility and access easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and access easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or replaced upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from said easements for the purpose of constructing, reconstructing, inspecting, painting, maintaining, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Richardson, Texas.

I do hereby dedicate the public access easements shown for use by the public as a means of pedestrian and vehicular access to the property shown thereon and to the adjacent property thereon.

EXECUTED THIS _____ day of _____, 2017.

By: **JRG LHC, LLC**
A Texas limited liability company

By: _____
Name: _____
Title: _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared _____, the _____ of JRG LHC, LLC, a Texas limited liability company.

GIVEN, UNDER MY HAND SEAL OF OFFICE this _____ day of _____, 2017.

Notary Public in and for _____ County, _____

Printed Name _____

SURVEYOR'S CERTIFICATE

I, Dana Brown, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were found and/or placed under my personal supervision in accordance with Platting Rules and regulations of the City Planning Commission of the City of Richardson, Texas.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Dana Brown
Registered Professional
Land Surveyor, No. 5336



STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared Dana Brown, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in the capacity herein stated and the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2017.

Notary Public in and for Dallas County, Texas _____

Printed Name _____

LIEN HOLDER'S SUBORDINATION AGREEMENT

The lien holder or mortgagee concurs with the Owner's Certificate and agrees to subordinate its interests to the provisions of the Owner's Dedication.

Lien Holder:
By: **LANDMARK BANK, N.A.**, as Administrative Agent and as a Lender

By: _____

Name: _____

Title: _____

STATE OF _____ §

COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared _____, the _____ of Landmark Bank, N.A. known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2017.

NOTARY PUBLIC in and for the STATE OF _____

My commission expires: _____

APPROVED:
Oncor Electric Delivery Company LLC,
APPROVED FOR DISTRIBUTION ONLY

By: _____

Date: _____

**ROUTH WOODS ADDITION
LOT 1, BLOCK A**
BEING 17.199 ACRES, 749,187 SQ. FT.
OUT OF THE JOHN U. VANCE SURVEY,
ABSTRACT NO. 942
CITY OF RICHARDSON,
COLLIN COUNTY, TEXAS
ADDRESS: 2710 ROUTH CREEK PKWY

Kimley»Horn

12750 Merit Drive, Suite 1000
Dallas, Texas 75251 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 238-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
NA	MTC	DAB	JAN. 2017	064446433	2 OF 2

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
12750 MERIT DRIVE, SUITE 1000
DALLAS, TEXAS 75251
CONTACT: MATT LUCAS, P.E.
PHONE: 972-770-1372

OWNER/APPLICANT:
JRG LHC, LLC
600 LAS COLINAS BLVD., SUITE 1800
IRVING, TEXAS 75039
CONTACT: Miler Sivilian
PHONE: 972-373-3931

Agenda Item 4

**Replat:
Eastside Addition Phase II**

Eastside Addition Phase II Lots 1B and 3, Block A

Attachments:

1. Locator
2. Replat staff report
3. Replat



Eastside Addition Phase 2
Lots 1B & 3, Block A



**CITY PLAN COMMISSION
STAFF REPORT
JANUARY 17, 2017**

Public Hearing on a Replat

PROJECT SUMMARY

Subdivision:	Eastside Addition, Phase II; Lots 1B and 3, Block A <i>being a replat of Lot 1A, Block A, Eastside Addition Phase II</i>
Location:	1703 and 1705 N. Greenville Avenue On the west side of Greenville avenue, south of Campbell Road.
Staff Comments:	The purpose of the replat is to create two (2) lots, abandon and dedicate easements to accommodate the development of a multi-family complex on proposed Lot 1B, and provide a separate lot for dedication to the City of Richardson. The replat complies with City subdivision regulations.
CPC Action:	Final decision

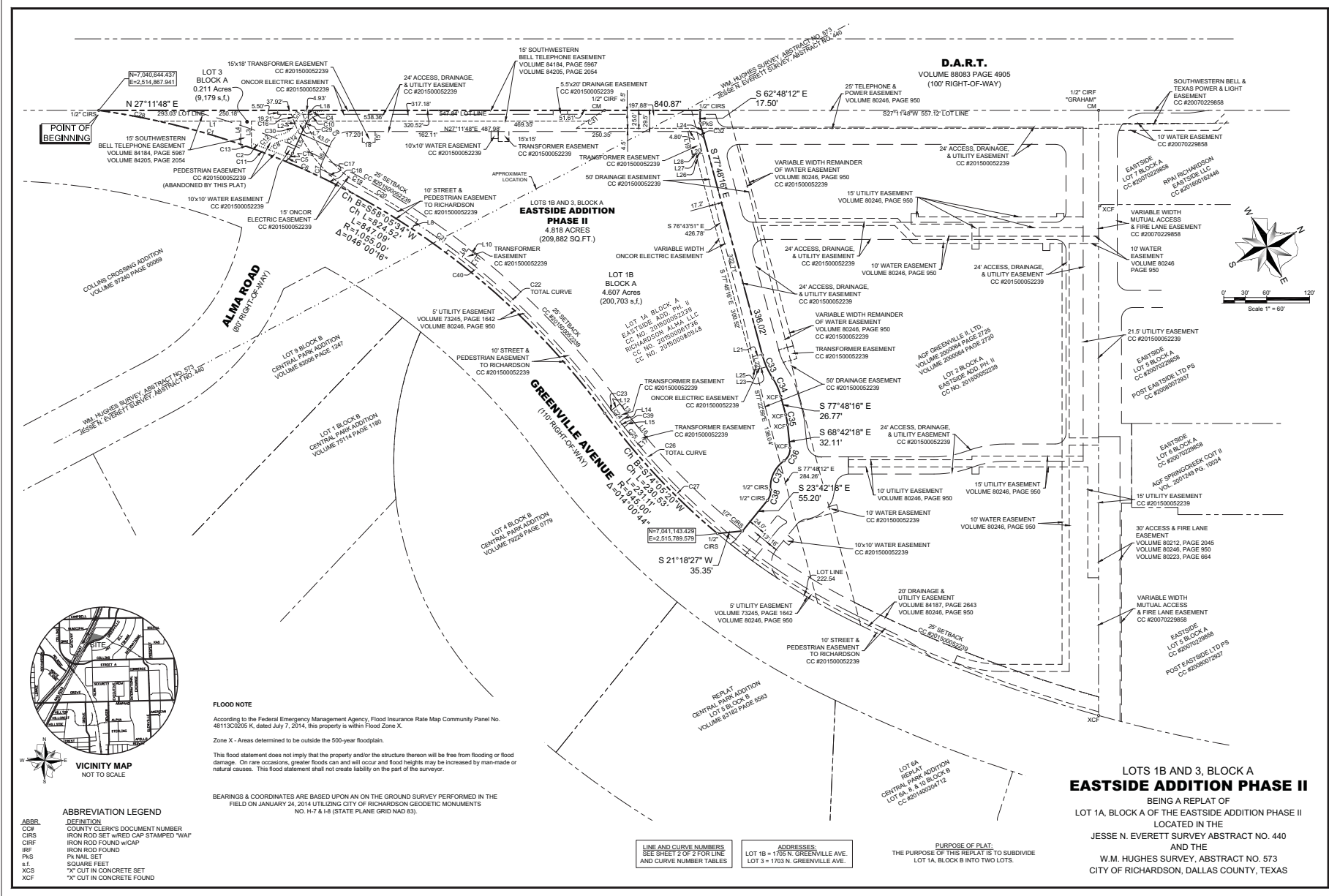
BACKGROUND

Tract Size:	4.818 acres (219,061 square feet)
Zoning:	PD Planned Development
Right-of-way Dedication:	None.
Easements/Setbacks:	
Existing to Remain	25' setback along Greenville Ave. Variable width storm sewer easement along the northeastern side of the property. 15' Telephone and power easement along the western property line. 24' Access. Drainage and Utility Easement along the western property line. 15' Oncor Electric Easement along southern property line. 10' Street and Pedestrian Easement along southern property line. 50' Drainage Easement along northern property line.

Various utility easement to provides services for the proposed development on Lot 1A.

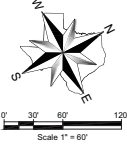
Dedicated by this Plat Variable Width Oncor Electric Easement along northern property line.

Abandoned by this Plat Previously dedicated Pedestrian Easement on newly created Lot 3.



POINT OF BEGINNING

D.A.R.T.
 VOLUME 88083 PAGE 4905
 (10' RIGHT-OF-WAY)



VICINITY MAP
 NOT TO SCALE

FLOOD NOTE
 According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 481130205K, dated July 7, 2014, this property is within Flood Zone X.
 Zone X - Areas determined to be outside the 500-year floodplain.
 This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

BEARINGS & COORDINATES ARE BASED UPON AN ON THE GROUND SURVEY PERFORMED IN THE FIELD ON JANUARY 24, 2014 UTILIZING CITY OF RICHARDSON GEODETIC MONUMENTS NO. H-7 & H (STATE PLANE GRID NAD 83).

ABBREVIATION LEGEND

ABBREVIATION	DEFINITION
CC#	COUNTY CLERK'S DOCUMENT NUMBER
CIRS	IRON ROD SET W/RED CAP STAMPED "W"
CIRF	IRON ROD FOUND w/CAP
IRF	IRON ROD FOUND
PKS	PK NAIL SET
s.f.	SQUARE FEET
XCS	"X" CUT IN CONCRETE SET
XCF	"X" CUT IN CONCRETE FOUND

LINE AND CURVE NUMBERS
 SEE SHEET 2 OF 2 FOR LINE
 AND CURVE NUMBER TABLES

ADDRESSES:
 LOT 1B = 1705 N. GREENVILLE AVE.
 LOT 3 = 1703 N. GREENVILLE AVE.

PURPOSE OF PLAT:
 REPLAT
 LOT 1A, BLOCK B INTO TWO LOTS.

**LOTS 1B AND 3, BLOCK A
 EASTSIDE ADDITION PHASE II**
 BEING A REPLAT OF
 LOT 1A, BLOCK A OF THE EASTSIDE ADDITION PHASE II
 LOCATED IN THE
 JESSE N. EVERETT SURVEY ABSTRACT NO. 440
 AND THE
 W.M. HUGHES SURVEY, ABSTRACT NO. 573
 CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS, RICHARDSON ALMA, LLC, is the sole owner of a tract of land situated in the JESSE N. EVERETT SURVEY, ABSTRACT NO. 440 and the WM. HUGHES SURVEY, ABSTRACT NO. 573, in the City of Richardson, Dallas County, Texas; and being all of Lot 1A of EASTSIDE ADDITION PHASE II, an addition to the City of Richardson according to the plat thereof recorded in County Clerk's Document No. 201500052230 Official Public Records Dallas County, Texas (O.P.R.D.C.T.); and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with red plastic cap stamped "W.A.I." set for corner at the intersection of the northwest right-of-way line of Greenville Avenue (a 110-foot right-of-way) with the southeast right-of-way line of the Dallas Area Rapid Transit (D.A.R.T.) (a 100-foot right-of-way) per document recorded in Volume 88083 Page 4905 of the Deed Records of Dallas County, Texas (D.R.D.C.T.);

THENCE North 27 deg 11 min 48 sec East, along said southeast right-of-way line, for a distance of 840.87 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I." set for corner, said point being the northwest corner of said Lot 1A, also being the southwest corner of Lot 2 of said Eastside Addition Phase II, said point being South 27 deg 11 min 48 sec West a distance of 557.12 feet from a 1/2-inch iron rod with plastic cap stamped "GRAHAM" found at the northwest corner of said Lot 2, and also the southwest corner of Eastside Lots 4,5,6, & 7, Block A, an addition to the City of Richardson according to the plat thereof recorded in County Clerk's Document No. 20070228668 O.P.R.D.C.T.;

THENCE departing said southeast right-of-way line and along the common line of said Lot 1A and said Lot 2, the following courses and distances:

South 62 deg 48 min 12 sec East, for a distance of 17.50 feet to a Pk nail set for corner;

South 77 deg 48 min 16 sec East, for a distance of 338.02 feet to a point for corner (unable to set monumentation due to construction activities) and for the beginning of a curve to the left having a central angle of 18 deg 11 min 42 sec, a radius of 112.00 feet, a chord bearing of South 86 deg 54 min 07 sec East, and a chord length of 35.42 feet;

Along said curve to the left for an arc distance of 35.57 feet to a point for corner (unable to set monumentation due to construction activities) and for the beginning of a reverse curve to the right having a central angle of 18 deg 11 min 42 sec, a radius of 88.00 feet, a chord bearing of South 86 deg 54 min 07 sec East, and a chord length of 27.53 feet;

Along said curve to the right for an arc distance of 27.56 feet to an "X" cut in concrete found for corner and for point of tangency;

South 77 deg 48 min 16 sec East, for a distance of 26.77 feet to an "X" cut in concrete found for corner and for the beginning of a curve to the right having a central angle of 09 deg 05 min 58 sec, a radius of 90.00 feet, a chord bearing of South 73 deg 15 min 17 sec East, and a chord length of 14.28 feet;

Along said curve to the right for an arc distance of 14.29 feet to an "X" cut in concrete found for corner and for point of tangency;

South 68 deg 42 min 18 sec East, for a distance of 32.11 feet to an "X" cut in concrete found corner and for the beginning of a curve to the right having a central angle of 60 deg 30 min 27 sec, a radius of 20.00 feet, a chord bearing of South 38 deg 27 min 08 sec East, and a chord length of 20.15 feet;

Along said curve to the right for an arc distance of 21.12 feet to a point for corner (unable to set monumentation due to construction activities) and for the beginning of a reverse curve to the left having a central angle of 59 deg 49 min 58 sec, a radius of 45.00 feet, a chord bearing of South 38 deg 06 min 49 sec East, and a chord length of 44.89 feet;

Along said curve to the left for an arc distance of 46.99 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner; and for the beginning of a curve to the right having a central angle of 44 deg 19 min 31 sec, a radius of 20.00 feet, a chord bearing of South 45 deg 52 min 03 sec East, and a chord length of 15.09 feet;

Along said curve to the right for an arc distance of 15.47 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner and for point of tangency;

South 23 deg 42 min 18 sec East, for a distance of 55.20 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner;

South 21 deg 18 min 27 sec West, for a distance of 35.35 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner on the northwest right-of-way line of said Greenville Ave., said point being the beginning of a curve to the right having a central angle of 14 deg 00 min 44 sec, a radius of 945.00 feet, a chord bearing of South 74 deg 05 min 20 sec West, and a chord length of 230.53 feet;

THENCE in a southeasterly direction along said northwest right-of-way line, with said curve to the right for an arc distance of 231.11 feet to a point for corner (unable to set monumentation due to construction activities) and for the beginning of a reverse curve to the left having a central angle of 46 deg 00 min 16 sec, a radius of 1,055.00 feet, a chord bearing of South 58 deg 05 min 34 sec West, and a chord length of 824.52 feet;

THENCE continuing along said northwest right-of-way line with said curve to the left for an arc distance of 847.09 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 4.816 acres or 209,882 square feet of land, more or less.

Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 24th day of January, 2014, utilizing the City of Richardson Geodetic Control Monuments 18 and H-7 (State Plane NAD 83 values).

OWNER'S DEDICATION

That, RICHARDSON ALMA, LLC, being the sole owner of the above described property, does hereby adopt this plat designating the herein described property as Lots 1B & 3, Block A, EASTSIDE ADDITION PHASE II, an addition to the City of Richardson, Dallas County, Texas; and do hereby dedicate to the public use forever the streets and alleys shown thereon. The easements shown hereon are hereby reserved for purposes as indicated. The utility and access easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and access easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or replaced upon, over or across the easements as shown; said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. All and any public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

I (we) do hereby dedicate the mutual access easements shown thereon for use by the public as a means of pedestrian and vehicle access to the property shown thereon and to the adjacent property thereon.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Richardson, Texas.

EXECUTED THIS ____ day of _____, 2016.

RICHARDSON ALMA, LLC

By: _____
JAMES DOBBIE, Vice-President

STATE OF TEXAS §
COUNTY OF DALLAS §

Before me, a notary public, on this day personally appeared JAMES DOBBIE, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2016.

Notary Public in and for the State of Texas

My Commission Expires On: _____

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Leonard J. Lueker, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as "set" were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Richardson.

Dated this ____ day of _____, 2016.

Leonard J. Lueker
Registered Professional Land Surveyor
Texas Registration # 5714
Winkelman & Associates, Inc.
6750 Hillcrest Plaza Drive, Suite 325
Dallas, Texas 75230
(972) 490-7050

STATE OF TEXAS §
COUNTY OF DALLAS §

Before me, a notary public, on this day personally appeared Leonard J. Lueker, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2016.

Notary Public in and for the State of Texas

My Commission Expires On: _____

PLAT
SEE SHEET 1 OF 2
FOR PLAT

LOTS 1B AND 3, BLOCK A
EASTSIDE ADDITION PHASE II
BEING A REPLAT OF
LOT 1A, BLOCK A OF THE EASTSIDE ADDITION PHASE II
LOCATED IN THE
JESSE N. EVERETT SURVEY ABSTRACT NO. 440
AND THE
W.M. HUGHES SURVEY, ABSTRACT NO. 573
CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L.	CH. B.
C1	8°31'59"	1049.47	119.66'	119.66'	S42°56'36"W
C2	3°11'58"	1029.08'	57.47'	57.46'	S48°27'34"W
C3	28°41'08"	44.50'	22.28'	22.05'	S24°13'47"E
C4	65°42'08"	35.50'	40.71'	38.51'	S05°43'16"E
C5	35°19'44"	25.00'	15.42'	15.17'	N20°54'28"W
C8	1°43'02"	1169.97'	35.07'	35.07'	S51°03'08"W
C7	40°36'18"	30.00'	21.26'	20.82'	S58°52'29"E
C8	52°33'45"	25.00'	22.93'	22.14'	S08°42'00"E
C9	65°46'08"	30.00'	34.44'	32.58'	S05°41'16"E
C10	46°53'43"	30.00'	24.55'	23.87'	S03°44'57"W
C11	3°05'23"	1039.60'	56.06'	56.05'	S48°33'58"W
C12	54°23'50"	34.00'	32.28'	31.08'	S09°37'03"E
C13	1°10'31"	775.34'	15.91'	15.91'	S46°37'29"W
C14	56°09'12"	34.00'	33.32'	32.00'	N10°29'44"W
C15	8°45'16"	25.00'	3.82'	3.82'	N25°46'45"W
C16	10°07'05"	206.50'	36.47'	36.42'	S86°02'51"E
C17	19°38'55"	206.50'	70.82'	70.47'	N65°57'48"E
C18	3°20'28"	1055.00'	61.52'	61.51'	S54°28'06"W
C19	21°43'35"	191.50'	72.62'	72.18'	N67°00'08"E
C20	4°35'46"	1070.00'	85.83'	85.81'	S58°26'13"W

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L.	CH. B.
C21	4°19'00"	1065.00'	80.24'	80.22'	S62°53'36"W
C22	28°37'03"	1065.00'	531.94'	526.42'	S66°47'11"W
C23	0°07'42"	934.96'	2.10'	2.10'	N81°01'51"E
C24	1°13'32"	935.00'	20.00'	20.00'	N80°21'14"E
C25	1°50'18"	935.00'	30.00'	30.00'	N78°13'42"E
C26	14°38'35"	935.00'	238.96'	238.31'	N73°46'25"E
C27	27°30'17"	940.00'	451.25'	446.92'	N67°20'34"E
C28	4°37'20"	1050.32'	84.73'	84.71'	S37°23'47"E
C29	18°52'29"	30.00'	9.88'	9.84'	S29°08'07"E
C30	56°99'12"	25.00'	24.50'	23.53'	N10°29'44"W
C31	4°22'04"	608.10'	46.38'	46.35'	S05°28'48"E
C32	74°59'58"	20.00'	26.18'	24.35'	S64°41'46"W
C33	18°11'42"	112.00'	35.57'	35.42'	S86°54'07"E
C34	18°11'42"	88.00'	27.96'	27.83'	S89°54'07"E
C35	9°05'58"	90.00'	14.29'	14.28'	S73°15'17"E
C36	60°30'27"	20.00'	21.12'	20.15'	S38°27'04"E
C37	59°49'58"	45.00'	46.99'	44.89'	S38°08'49"E
C38	44°19'31"	20.00'	15.47'	15.09'	S45°52'03"E
C39	0°36'38"	935.00'	9.88'	9.88'	N79°28'40"E
C40	17°11'53"	1060.00'	318.17'	316.98'	S72°29'46"W

LINE TABLE			LINE TABLE		
LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
L1	N27°11'48"E	115.11'	L15	N11°46'18"W	14.88'
L2	S38°34'20"E	1.36'	L16	N78°13'42"E	30.00'
L3	S62°48'12"E	37.75'	L17	S11°46'18"E	14.88'
L4	S62°48'12"E	32.46'	L18	S62°48'12"E	15.00'
L5	S38°34'20"E	40.24'	L19	S73°03'39"E	33.32'
L6	N38°34'20"W	28.10'	L20	S18°56'21"W	14.17'
L7	S38°34'20"E	1.36'	L21	N12°11'44"E	13.59'
L8	S29°15'54"E	15.00'	L22	N76°42'51"W	18.67'
L9	N24°32'41"W	13.59'	L23	N12°11'44"E	15.30'
L10	N65°27'19"E	15.00'	L24	S77°48'16"E	27.77'
L11	S24°32'41"E	13.59'	L25	N12°11'44"E	3.29'
L12	N09°38'48"W	14.95'	L26	S73°03'38"E	12.05'
L13	N80°21'14"E	20.00'	L27	S18°56'21"W	8.17'
L14	S09°36'48"E	14.95'	L28	S18°56'22"W	6.00'



JESSE N. EVERETT SURVEY, ABSTRACT NO. 440
WM. HUGHES SURVEY, ABSTRACT NO. 573
DALLAS COUNTY, TEXAS
OWNER DEVELOPER:
RICHARDSON ALMA, LLC
4401 N. MEEM - E. PASADENA, TEXAS 75082
CONTACT: JIM DOBBIE - PH. 972-452-7100

LOTS 1B AND 3, BLOCK A
EASTSIDE ADDITION PHASE II

Date: 12/07/16
Scale: N/A
File: 71401.08 RP1 LOT 1A
Project No.: 71401.08

DNBET